



City of Charleston

BOARD OF ZONING APPEALS-ZONING

May 17, 2022

5:15 PM

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

www.charleston-sc.gov/bza-z

This meeting is being recorded.



City of Charleston

BOARD OF ZONING APPEALS-ZONING

Your Board of Zoning Appeals-Zoning Members are:

John Bennett

Bill Goodwin, Jr.

Allison Cannon Grass

Howell Morrison

Robben Richards

Jeffrey Tibbals

Your City of Charleston Staff are:

Lee Batchelder, *Zoning
Administrator*

Pennye Ashby, *Senior Planner*

Scott Valentine, *TRC Coordinator*

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

www.charleston-sc.gov/bza-z

This meeting is being recorded.

Meeting Protocol

Order on Each Application:

- Chair announces each application
- Staff presents application and City's recommendation. Staff will control slide presentation
- If recommendation is favorable and no one objects to the application, usually the Board treats application as uncontested and passes it
- If there is an objection, applicant and anyone else in favor, after being sworn in, will be allowed to speak on the application. Each speaker will be sworn in before speaking. Each speaker should state their name and address for the record
- Next, opponents, after being sworn in, can speak followed by a short rebuttal from the applicant
- The Board then closes the public hearing on that application and opens discussion for Board members

The Board of Zoning Appeals—Zoning has the authority to do three things:

1. Hear appeals to decisions of the Zoning Administrator;
2. Grant special exceptions, a fact finding function of the Board; and
3. Grant variances to the Zoning Ordinance if the application meets the hardship test outlined in Section 54-924 of the ordinance.

Board of Zoning Appeals-Zoning

Requirements for Granting a Variance

A variance may be granted by the Board of Zoning Appeals in an individual case of unnecessary hardship if the Board makes the following findings:

- a. there are extraordinary and exceptional conditions pertaining to the particular piece of property;
- b. these conditions do not generally apply to other property in the vicinity;
- c. because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
- d. the authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

Agenda Item #A-1

Approval of May 3, 2022 BZA-Z Minutes

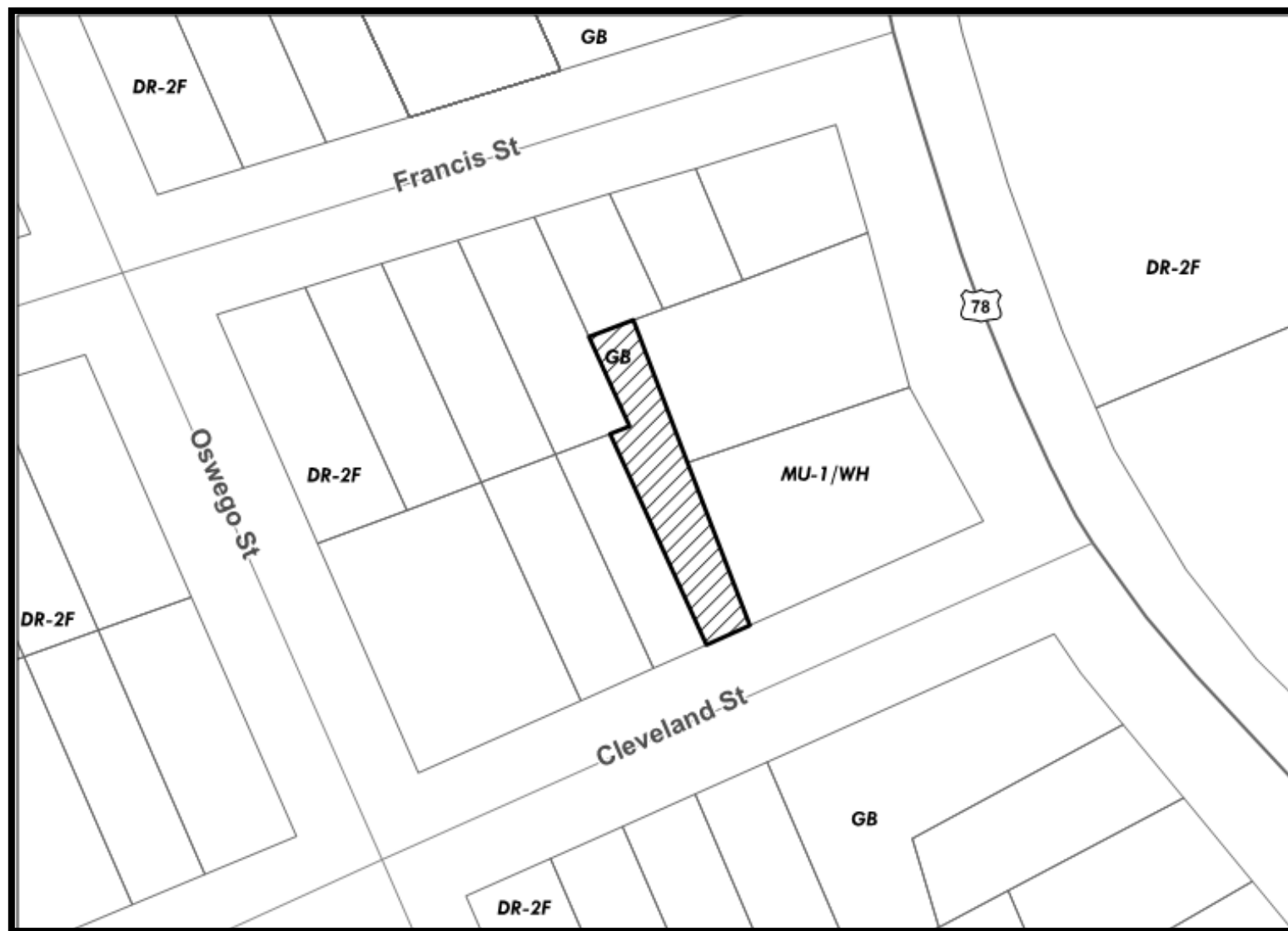
[https://www.charleston-sc.gov/AgendaCenter/ViewFile/Agenda/ 05032022-7436](https://www.charleston-sc.gov/AgendaCenter/ViewFile/Agenda/05032022-7436)

Agenda Item #A-2

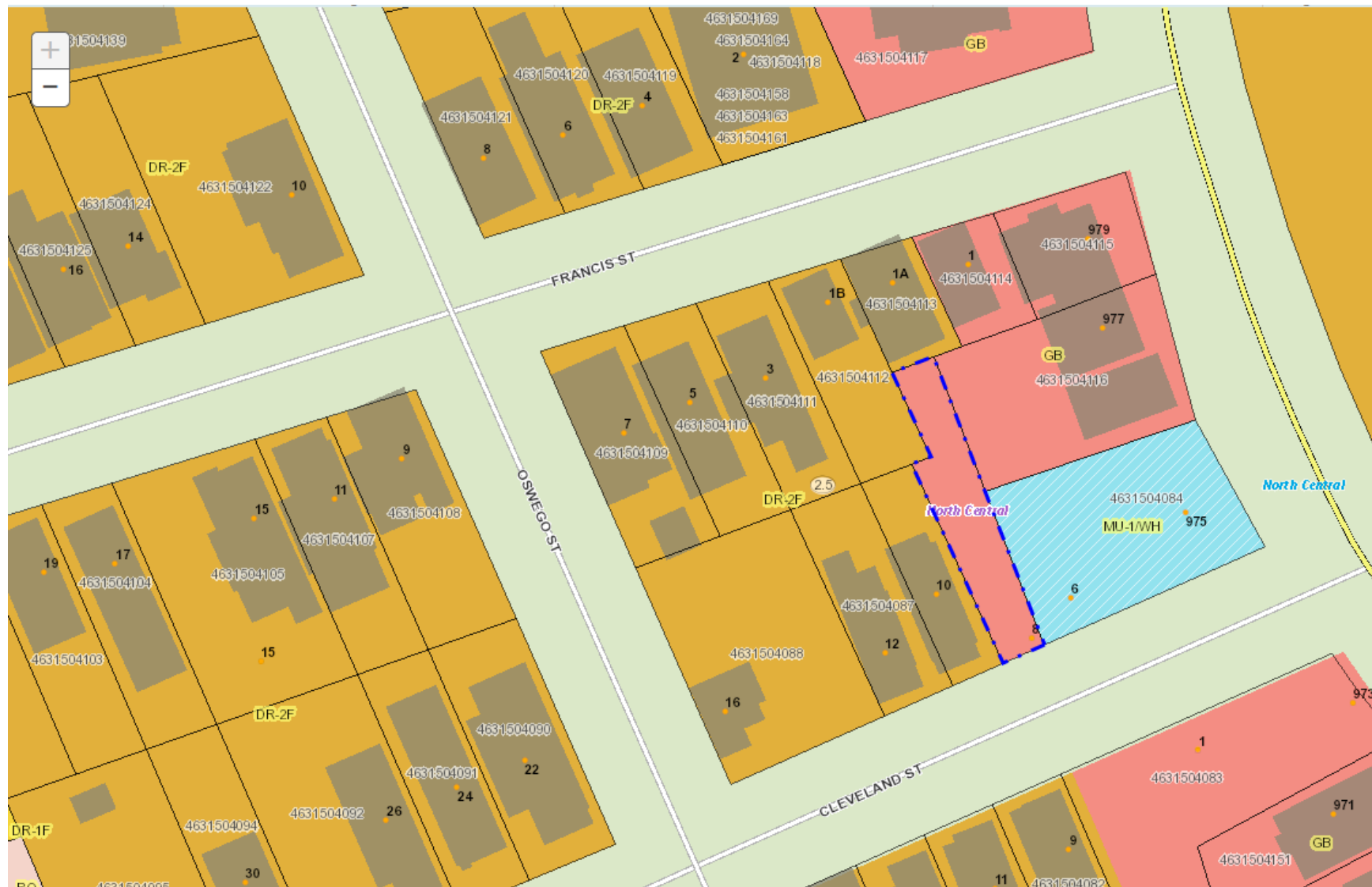
8 CLEVELAND STREET
(NORTH CENTRAL)
TMS # 463-15-04-085

Request variance from Sec. 54-301 to allow construction of a single-family residence with a 1-ft. east side setback, a 3.5-ft. west side setback, a 4.5-ft. total side setback (3-ft., 9-ft. and 15-ft.).

Zoned GB









City of Charleston

Instructions – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: March 1, 2022

Property Address 8 Cleveland Street TMS # 463-15-04-085

Property Owner Charleston Development Company, LLC Daytime Phone 843-324-1161

Applicant Julie O'Connor - American Vernacular, Inc Daytime Phone 843-345-7248

Applicant's Mailing Address 151 Sheppard Street, Charleston, SC 29403

E-mail Address julieoconnor@americanvernacular.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Designer

Zoning of property GB

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)
☒ Check, credit card or cash (make checks payable to the City of Charleston)
☐ **YES or** ☒ **NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Julie O'Connor Date 1/27/22

For office use only	
Date application received _____	Time application received _____
Staffperson _____	Fee \$ _____ Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Requesting variance to east and west setbacks and total setbacks and parking. The lot is 17' wide and the total setback required by ordinance is 15'. We are proposing a single family residence that meets all other setbacks and lot coverage requirements. We can probably park 2 cars in the front side-by-side, but the lot does not meet the required width of 2 parking spaces of 18'.

1. The extraordinary and exceptional conditions are that the lot is only 2' wider than the required setbacks, is a lot of record, and the setbacks would prevent any development.
2. Other properties in the vicinity are either significantly wider or do not meet their setbacks either.
3. As mentioned above, the remaining width of the lot, if required setbacks were used, would be around 2' which would prohibit building anything on this property.
4. The construction of a single family residence in this residential neighborhood would not be a detriment and would enhance the neighborhood by continuing the streetscape and eliminating a vacant piece of land

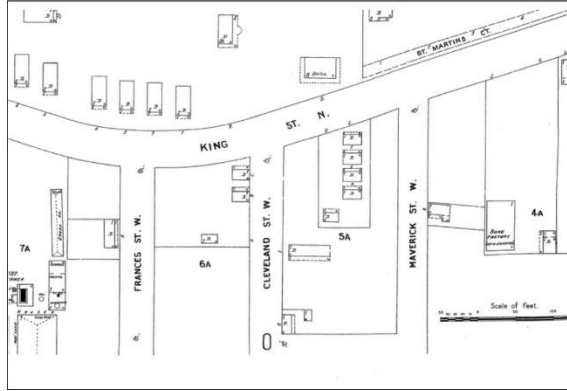
Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

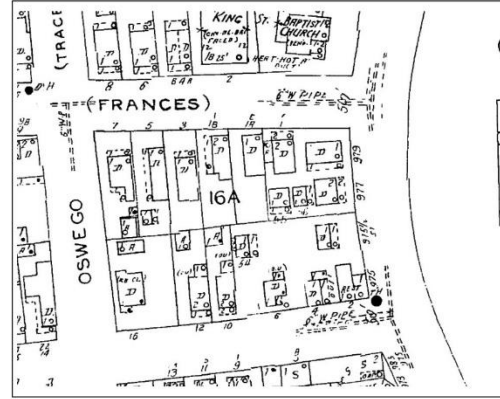
In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

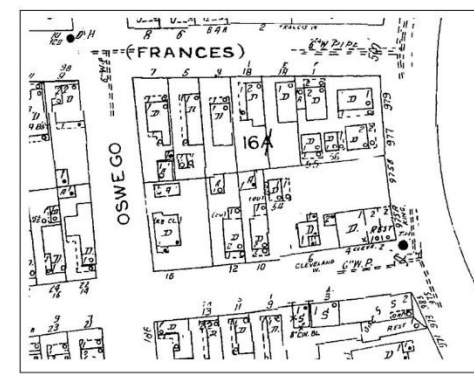
All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.



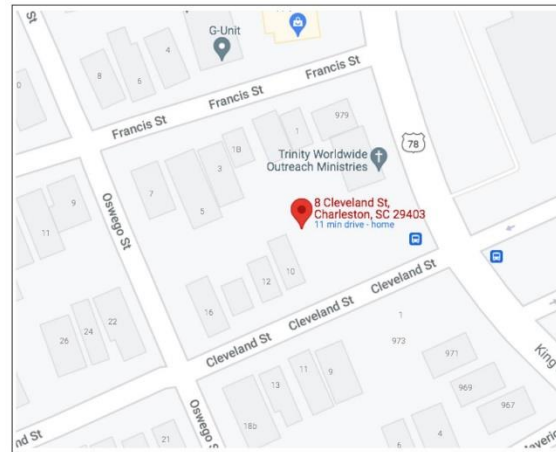
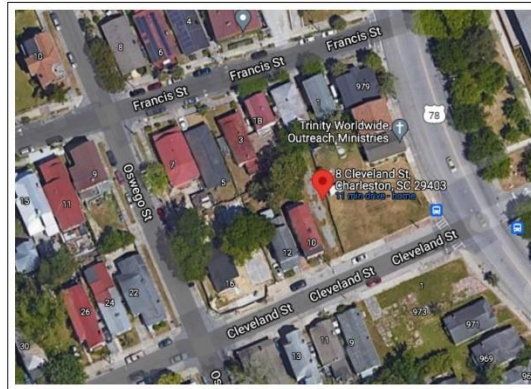
1902



1944



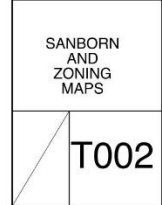
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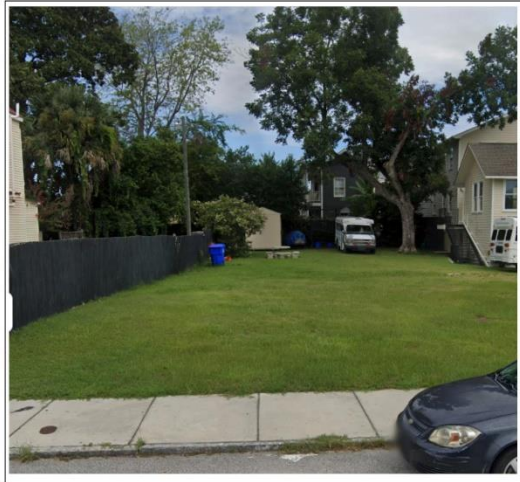
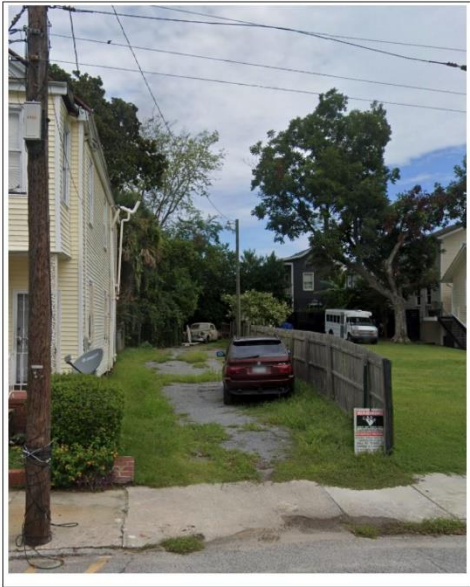
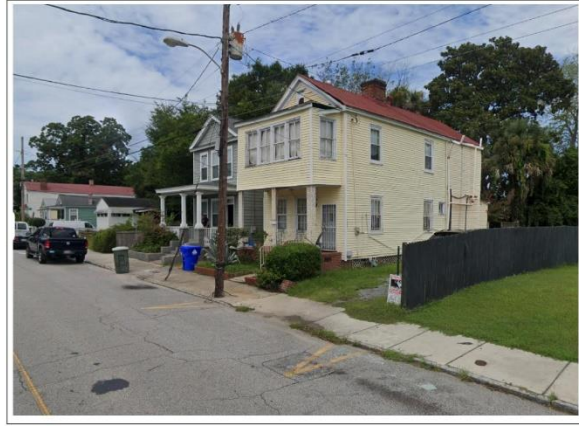


ISSUES/REVISIONS	
12/1/21	SCHEMATICS
12/16/21	SCHEMATICS
1/20/22	DESIGN DEV.



<small> DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE DESIGNER. NO PART OF THIS DESIGN OR DESIGNER'S NAME OR FIRM'S NAME SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. </small>	
SCALE:	NO SCALE
DATE:	January 20, 2022





**AMERICAN[®]
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151 Sheppard St.
Charleston
South Carolina
29403
843-856-4818
www.americanvernacular.com

ISSUES/REVISIONS	
12/12/21	SCHEMATICS
12/16/21	SCHEMATICS
1/20/22	DESIGN DEV.

Cleveland House
8 Cleveland Street
Charleston, South Carolina
PHOTOS

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SCALE: NO SCALE

DATE: January 20, 2022

PHOTOS

T002



VACANT LOT AT 6 CLEVELAND/975 KING STREET



PROPOSED DEVELOPMENT AT 6 CLEVELAND/975 KING STREET



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ISSUES/REVISIONS	
12/12/21	SCHEMATICS
12/16/21	SCHEMATICS
1/20/22	DESIGN DEV.
3/16/22	REVISIONS

Cleveland House
8 Cleveland Street
Charleston, South Carolina
PHOTOS

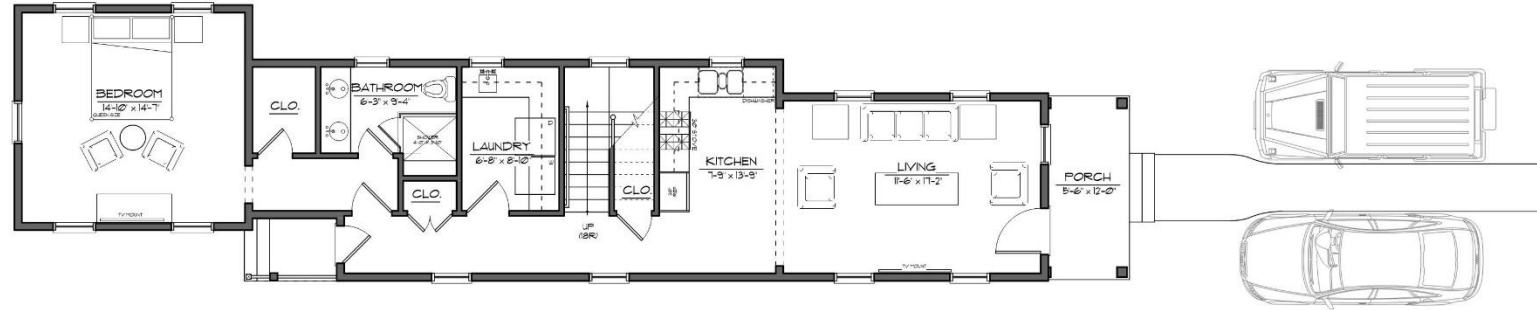
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SCALE: NO SCALE

DATE: March 16, 2022

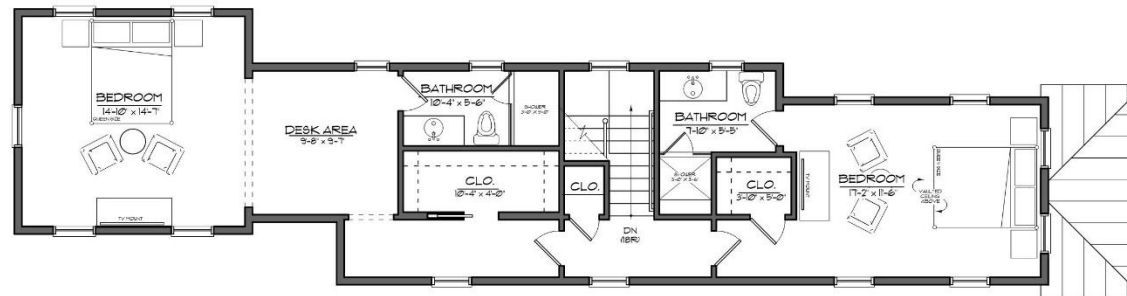
PHOTOS

T002



1 FIRST FLOOR PLAN
A101 SCALE: 1/4" = 1'-0"

BUILDING S.F.	
FIRST FLOOR -	873 H&C S.F.
SECOND FLOOR -	873 H&C S.F.
TOTAL -	1746 H&C S.F.
PORCH -	66 NON-H&C S.F.



2 SECOND FLOOR PLAN
A101 SCALE: 1/4" = 1'-0"

TOTAL LOT SF	2620 SF
50% LOT COVERAGE	1310 SF
CURRENT LOT COVERAGE	1053 SF



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ISSUES/REVISIONS	
12/12/21	SCHEMATICS
12/16/21	SCHEMATICS
12/31/21	REVISIONS
1/20/22	DESIGN DEV.
3/16/22	DESIGN DEV.

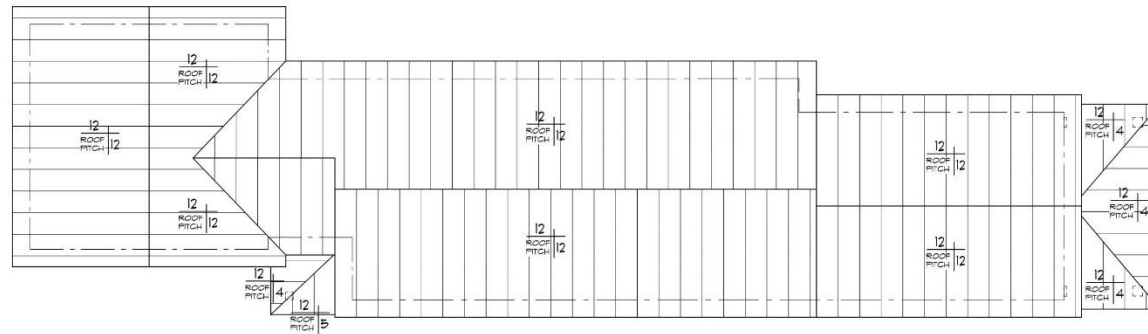
Cleveland House
8 Cleveland Street
Charleston, South Carolina
FLOOR PLANS

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INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE
AND RETRIEVAL SYSTEM, WITHOUT
WRITTEN PERMISSION OF THE DESIGNER.

SCALE: 1/4" = 1' - 0"
DATE: March 16, 2022

FLOOR
PLANS

A101



1 ROOF PLAN
A103 SCALE: 1/4" = 1'-0"



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ISSUES/REVISIONS	
12/12/21	SCHEMATICS
12/16/21	SCHEMATICS
12/31/21	REVISIONS
1/20/22	DESIGN DEV.
3/16/22	DESIGN DEV.

Cleveland House
8 Cleveland Street
Charleston, South Carolina
ROOF PLANS

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BE REPRODUCED OR TRANSMITTED
IN ANY FORM OR BY ANY MEANS
ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE
AND RETRIEVAL SYSTEM, WITHOUT
THE WRITTEN PERMISSION OF THE
DESIGNER.

SCALE: 1/4" = 1' - 0"

DATE: March 16, 2022

**ROOF
PLANS**

A103



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ISSUES/REVISIONS	
12/1/21	SCHEMATICS
12/16/21	SCHEMATICS
1/20/22	DESIGN DEV.
3/16/22	DESIGN DEV.
5/6/22	DESIGN DEV.

Cleveland House
8 Cleveland Street
Charleston, South Carolina
ELEVATIONS

PERMITTED AND THE DESIGN ARE THE
PROPERTY OF THE DESIGNER. NO OTHER
REPRODUCTION OR TRANSMISSION OF THIS
PROJECT IS PERMITTED WITHOUT THE WRITTEN
APPROVAL OF THE DESIGNER.

SCALE: 1/4" = 1' - 0"

DATE: May 6, 2022

ELEVATIONS

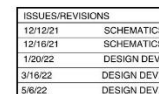
A201



1 FRONT ELEVATION
A201 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
A201 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
A202 SCALE: 1/4" = 1'-0"

A202



1 EXISTING CLEVELAND STREET SITE ELEVATION
 A203 SCALE: 1/16" = 1'-0"



2 PROPOSED CLEVELAND STREET SITE ELEVATION
 A203 SCALE: 1/16" = 1'-0"



16 CLEVELAND ST



16A CLEVELAND ST
 NEW CONSTRUCTION



12 CLEVELAND ST



10 CLEVELAND ST



8 CLEVELAND ST



6 CLEVELAND ST 975 KING ST

3 EXISTING CLEVELAND STREET PHOTOS
 A203 SCALE: 1/16" = 1'-0"



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ISSUES/REVISIONS

12/12/21	SCHEMATICS
12/16/21	SCHEMATICS
1/20/22	DESIGN DEV.
3/16/22	DESIGN DEV.
5/6/22	DESIGN DEV.

Cleveland House
 8 Cleveland Street
 Charleston, South Carolina
 STREETSCAPES

THESE AND THE DESIGN ARE THE
 PROPERTY OF THE DESIGNER.
 THE DESIGNER'S NAME AND FIRM
 PREPARED IS REQUIRED FOR ALL
 USES. ANY OTHER USES WITHOUT
 THE DESIGNER'S WRITTEN
 APPROVAL ARE PROHIBITED.

SCALE: 1/16" = 1' - 0"

DATE: May 6, 2022

STREETSCAPES

A203



1 EXISTING CLEVELAND STREET SITE ELEVATION
A203 SCALE: 1/16" = 1'-0"



2 PROPOSED CLEVELAND STREET SITE ELEVATION
A203 SCALE: 1/16" = 1'-0"

8 Cleveland St
Charleston, South Carolina



Street View - Aug 2019



Agenda Item #B-1

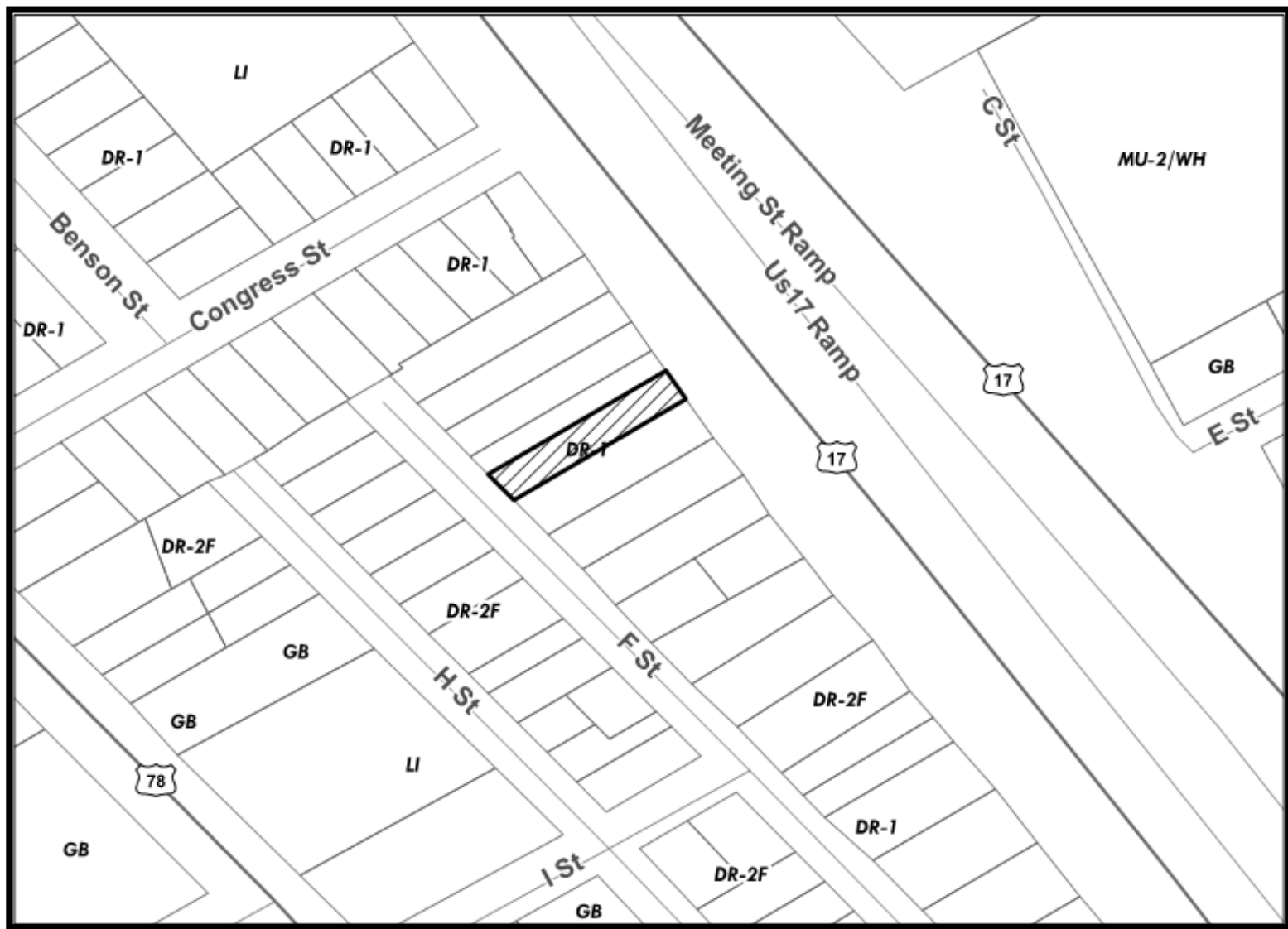
37 C F STREET

(WESTSIDE)

TMS # 463-16-03-054

Request variance from Sec. 54-301 to allow construction of a detached single-family residence with a 6-ft. south side setback, a 9-ft. total side setback (9-ft. 15-ft. required).

Zoned DR-1





Sea

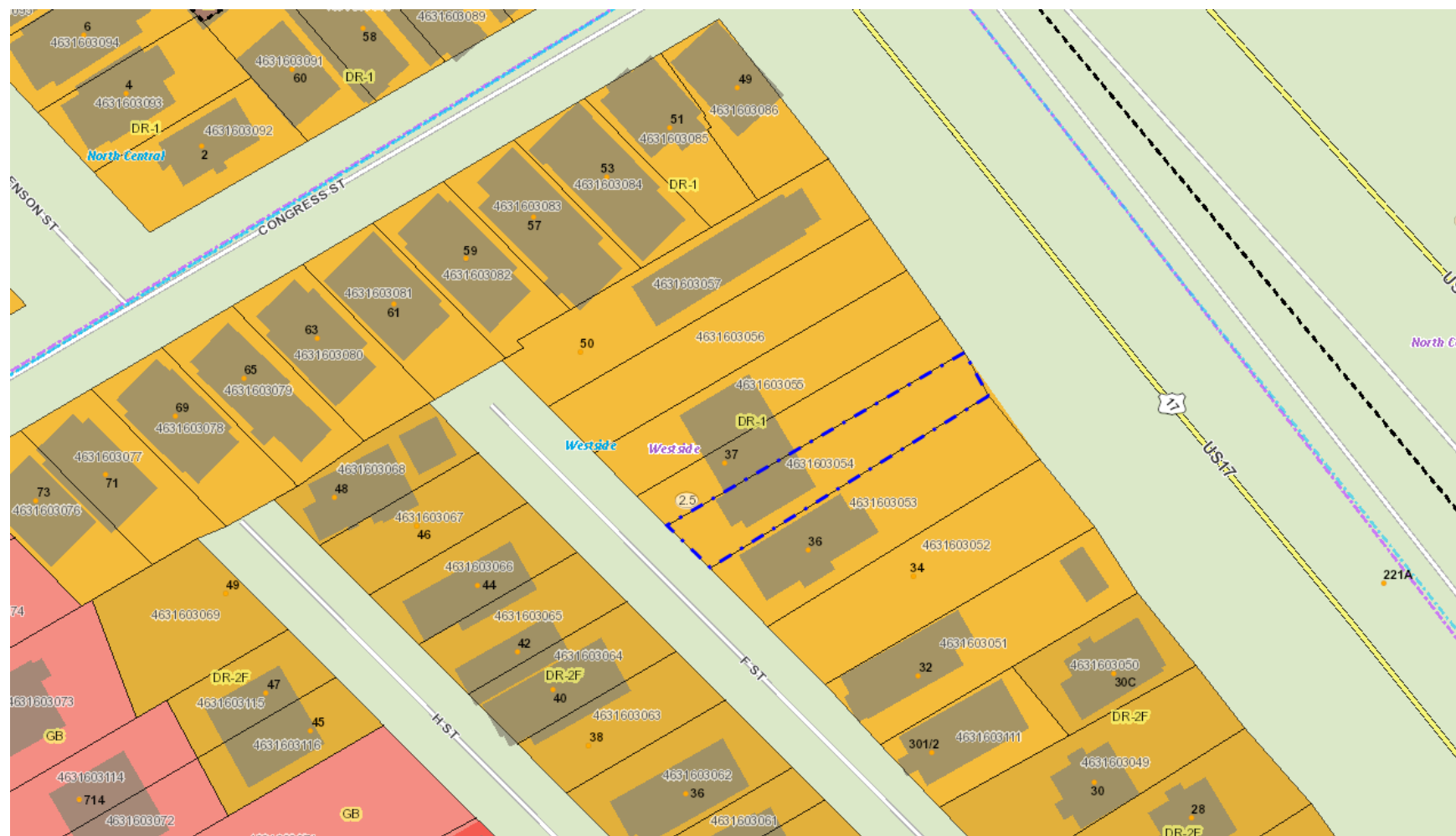
Search

463

Se

▶

(US 17)





City of Charleston

Instructions – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: MAY 17, 2022

Property Address 37C F STREET TMS # 463-16-03-054

Property Owner HOWARD BARLOW Daytime Phone _____

Applicant PATRICK OREFICE (MARLEN STUDIO) Daytime Phone 843-996-2383

Applicant's Mailing Address 71 FOLLY RD BLVD, CHARLESTON, SC 29407

E-mail Address PATRICK@MARLENSTUDIO.COM

Relationship of applicant to owner (same, representative, prospective buyer, other) ARCHITECT/REPRESENTATIVE

Zoning of property DR-1

Information required with application: (check information submitted)

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
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☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 4-13-2022

For office use only	
Date application received _____	Time application received _____
Staffperson _____	Receipt # _____
Fee \$ _____	

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

REQUEST VARIANCE FROM SECTION 54-301/TABLE 3.1 TO ALLOW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE WITH A 6' SOUTH SIDE SETBACK AND COMBINED 9' SEDE SETBACKS (9' SOUTH AND 15' COMBINED NOTED IN TABLE 3.1).

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

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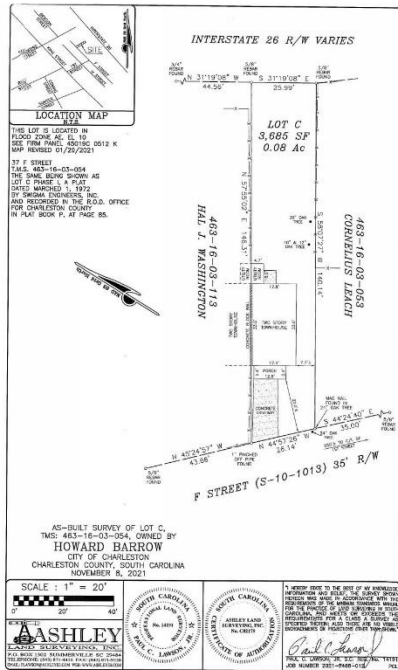
All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

April 1, 2022

RE: **Variance Test Questions/Answers**

37C F St, Charleston, SC 29403

1. Are there extraordinary and exceptional conditions pertaining to the particular piece of property?
 - a. The exceptional condition for the property is that the existing lot size is not large enough to construct a single family residence if the variance and special exception are not granted.
 - b. The owner and design team recognize that the previous building and what remains of the existing façade was construction as an attached dwelling. A new attached dwelling is not feasible due to a new structure needing to meet current flood codes.
2. Do the zoning conditions generally apply to other properties in the vicinity?
 - a. Many of the neighboring properties along F Street are narrow and have houses constructed within current setback requirements. The proposed house fits in with the neighborhood lot layouts.
3. Because of these conditions, would the application of the ordinance to the particular piece of property effectively prohibit or unreasonably restrict the utilization of the property?
 - a. Current zoning regulations make the lot unbuildable for a detached single family residence. A large majority of the properties on F Street are detached single family houses. The current regulations only allow for an attached dwelling unit to be constructed, but would be unfeasible to meet current flood ordinances.
4. Will authorization of the variance be of substantial detriment to the adjacent properties or to the public good, or will the character of the district be harmed by the granting of the variance?
 - a. Most of the properties in the neighborhood have detached single family homes on small lots. A new detached single family with the variance will be in line with the existing nature of the neighborhood and character of the area. Approval will also allow for the removal of a derelict structure further enhancing the neighborhood. The overall impact with variance approval would be positive for the area.



EXISTING SURVEY

NOT TO SCALE

2

ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'-0"

TMS: 463-16-03-054
FLOOD ZONE: AE 10
ZONING: DR-1

FROM TABLE 3.1

MAX HEIGHT: 50' AND 3 STORIES

SETBACKS:

FRONT: NO REQUIREMENT
REAR: 3 FT
SIDE (TOTAL): 15 FT
SIDE (SOUTH / WEST): 9 FT
SIDE (NORTH / EAST): 3 FT

BUILDING COVERAGE:

MAX BUILDING COVERAGE ALLOWED: 35%
LOT SIZE: 3,685 SF

EXISTING

EXISTING HOUSE COVERAGE: 607 SF
EXISTING UTILITY CLOSET COVERAGE: 38 SF
EXISTING FRONT PORCH COVERAGE: 70 SF

TOTAL: 715 SF (19.4%)

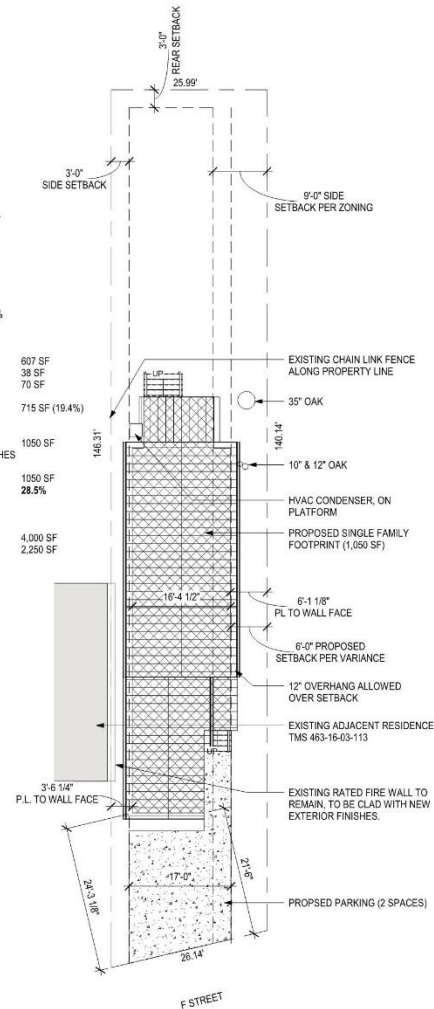
PROPOSED

HOUSE COVERAGE:
INCLUDES FRONT AND REAR PORCHES

TOTAL: 1050 SF
PROPOSED BUILDING COVERAGE: 28.5%

LOT AREA:

SINGLE FAMILY: 4,000 SF
MULTI-FAMILY (PER DWELLING): 2,250 SF



TMS: 463-16-03-054
FLOOD ZONE: AE 10
ZONING: DR-1

FROM TABLE 3.1

MAX HEIGHT: 50' AND 3 STORIES

SETBACKS:

FRONT: NO REQUIREMENT
REAR: 3 FT
SIDE (TOTAL): 15 FT
SIDE (SOUTH / WEST): 9 FT
SIDE (NORTH / EAST): 3 FT

BUILDING COVERAGE:

MAX BUILDING COVERAGE ALLOWED: 35%
LOT SIZE: 3,685 SF

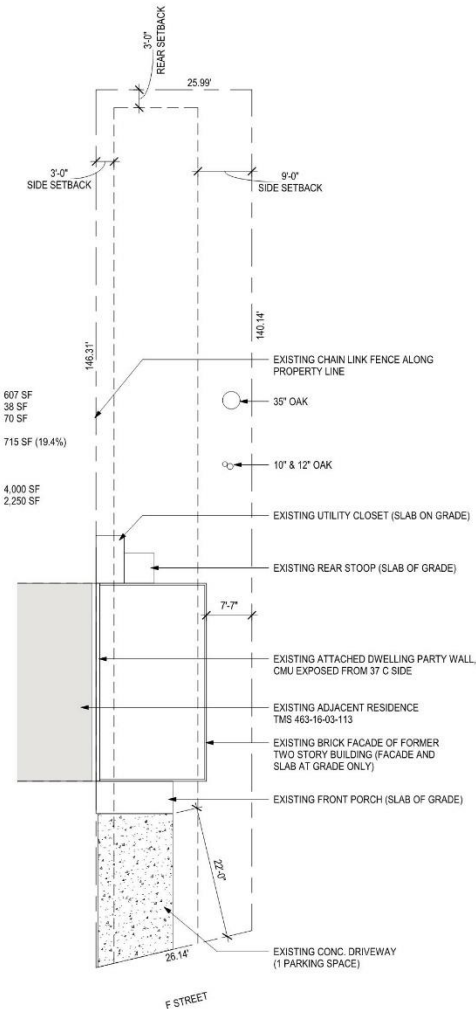
EXISTING

EXISTING HOUSE COVERAGE: 607 SF
EXISTING UTILITY CLOSET COVERAGE: 38 SF
EXISTING FRONT PORCH COVERAGE: 70 SF

TOTAL: 715 SF (19.4%)

LOT AREA:

SINGLE FAMILY: 4,000 SF
MULTI-FAMILY (PER DWELLING): 2,250 SF



No.	Description	Date

NEW RESIDENCE
370 F STREET
CHARLESTON, SC 29403

SITE PLANS

Project number: 2152
Date: 04/13/2022
Drawn by: Author
Checked by: Checker

AS100

TMS: 463-16-03-054
FLOOD ZONE: AE 10
ZONING: DR-1

FROM TABLE 3.1

MAX HEIGHT: 50' AND 3 STORIES

SETBACKS:

FRONT: NO REQUIREMENT
REAR: 3 FT
SIDE (TOTAL): 15 FT
SIDE (SOUTH / WEST): 9 FT
SIDE (NORTH / EAST): 3 FT

BUILDING COVERAGE:

MAX BUILDING COVERAGE ALLOWED: 35%
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EXISTING

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EXISTING UTILITY CLOSET COVERAGE: 38 SF
EXISTING FRONT PORCH COVERAGE: 70 SF

TOTAL: 715 SF (19.4%)

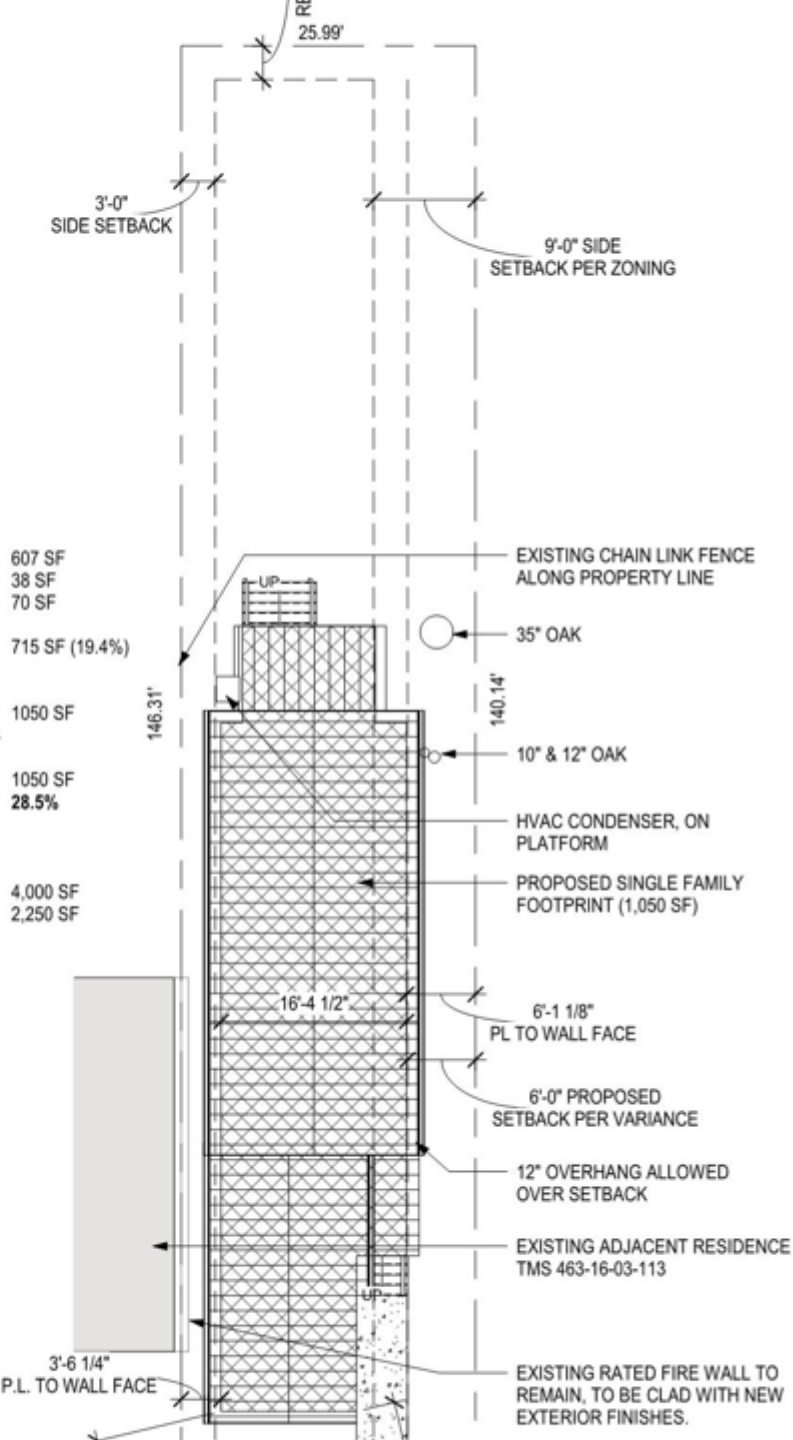
PROPOSED

HOUSE COVERAGE: 1050 SF
INCLUDES FRONT AND REAR PORCHES

TOTAL: 1050 SF
PROPOSED BUILDING COVERAGE: 28.5%

LOT AREA:

SINGLE FAMILY: 4,000 SF
MULTI-FAMILY (PER DWELLING): 2,250 SF



TMS: 463-16-03-054
FLOOD ZONE: AE 10
ZONING: DR-1

FROM TABLE 3.1

MAX HEIGHT: 50' AND 3 STORIES

SETBACKS:

FRONT: NO REQUIREMENT
REAR: 3 FT
SIDE (TOTAL): 15 FT
SIDE (SOUTH / WEST): 9 FT
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MAX BUILDING COVERAGE ALLOWED: 35%
LOT SIZE: 3,685 SF

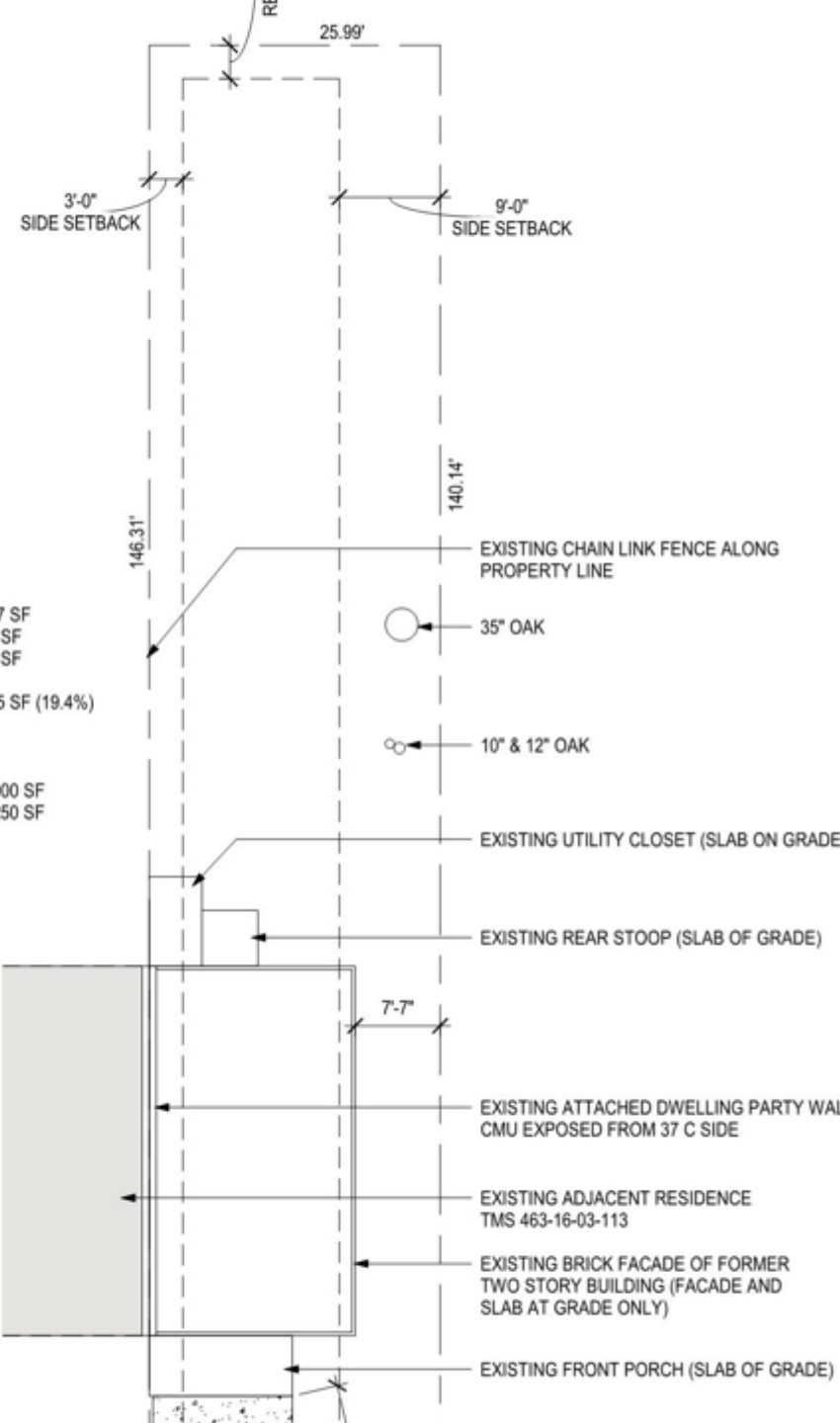
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TOTAL: 715 SF (19.4%)

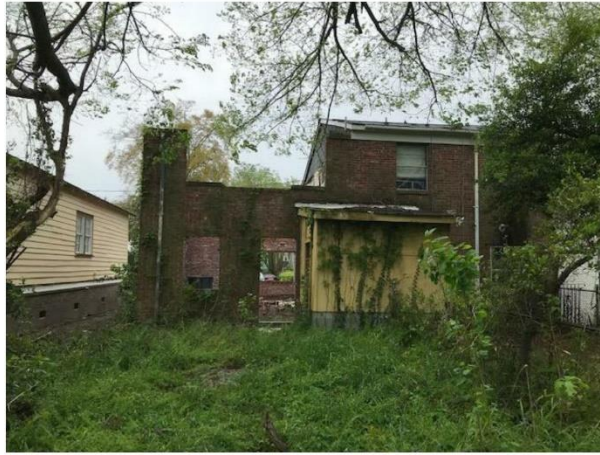
LOT AREA:

SINGLE FAMILY: 4,000 SF
MULTI-FAMILY (PER DWELLING): 2,250 SF





EXISTING INTERIOR LOOKING NORTH
(AT PARTY WALL)



EXISTING EAST FACADE



EXISTING WEST AND SOUTH FACADE



EXISTING INTERIOR LOOKING EAST



EXISTING INTERIOR LOOKING WEST



EXISTING WEST FACADE

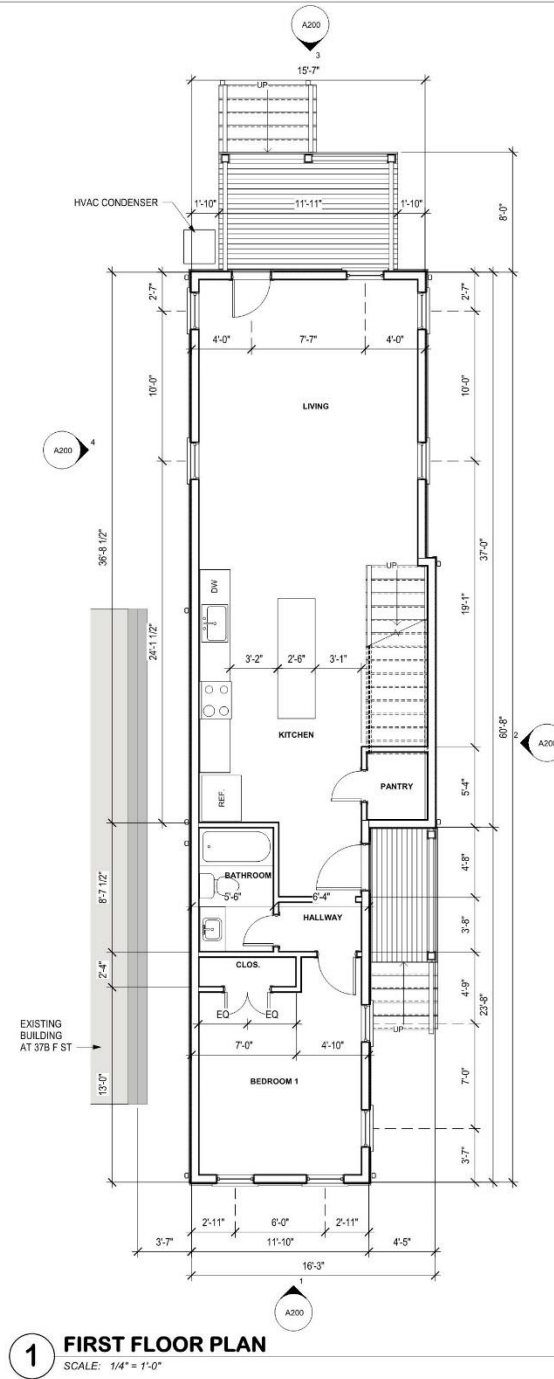
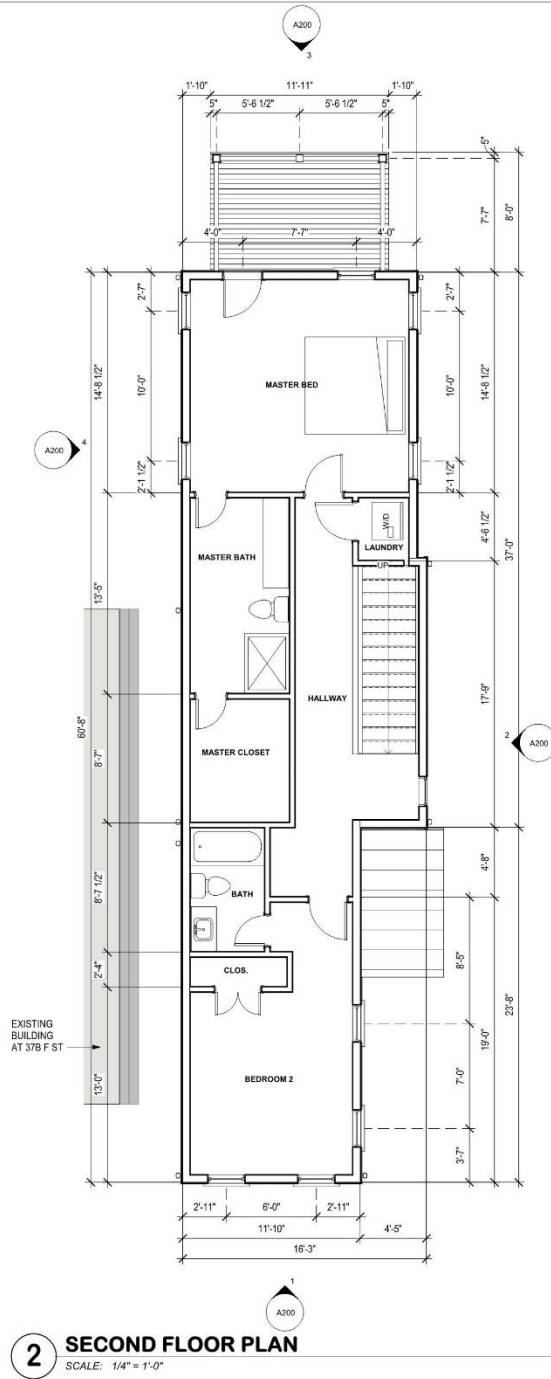
No.	Description	Date

NEW RESIDENCE
370 F STREET
CHARLESTON, SC 29403

EXISTING PICTURES

Project number: 2152
Date: 04/13/2022
Drawn by: Author
Checked by: Checker

A001



GENERAL FLOOR PLAN NOTES:

1. DIMENSIONS INDICATED ARE FROM FACE OF STUD AND TO FACE OF MASONRY, U.O.N.
2. CONTRACTOR TO COORDINATE LOCATIONS OF ADDITIONAL PENETRATIONS THROUGH WALLS AND FLOORS NOT INDICATED ON ARCHITECTURAL DRAWINGS. REFER TO STRUCTURAL FOR LINTEL OR FRAMING REQUIREMENTS.
3. ALL NEW WALLS ARE TO BE TYPE A1, U.O.N.
4. DO NOT SCALE DRAWINGS.
5. CONTRACTOR TO CONFIRM THAT ALL NEW HABITABLE SPACE WINDOWS COMPLY WITH EGRESS CODE.

WINDOW AND DOOR NOTES:

1. WINDOWS IN BEDROOMS ARE TO BE EGRESS COMPLIANT.
2. ALL WINDOWS ARE TO BE NON-IMPACT RATED, U.O.N. PROVIDE DEBRIS PROTECTION PANELS FOR ALL NEW WINDOWS.
3. NEW WINDOWS ARE TO BE DOUBLE HUNG.
4. ALL WINDOWS ARE TO BE VINYL AND WHITE.
5. WINDOWS TO RECEIVE A SIMULATED DIVIDER LIGHT (SDL) AND SHALL HAVE WINDOW AESTHETIC TO MATCH EXISTING HOUSE.
6. DOOR SELECTIONS TO BE MADE BY OWNER.
7. CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES PRIOR TO ORDERING DOORS AND WINDOWS.

**ARWEN
STUDIO**
ARCHITECTURE + INTERIOR DESIGN
PROJECT MANAGEMENT
www.arwenstudio.com
404.996.2300

No.	Description	Date

NEW RESIDENCE
370 F STREET
CHARLESTON, SC 29403

FLOOR PLANS

Project number: 2152
Date: 04/13/2022
Drawn by: Author
Checked by: Checker

A101



No.	Description	Date

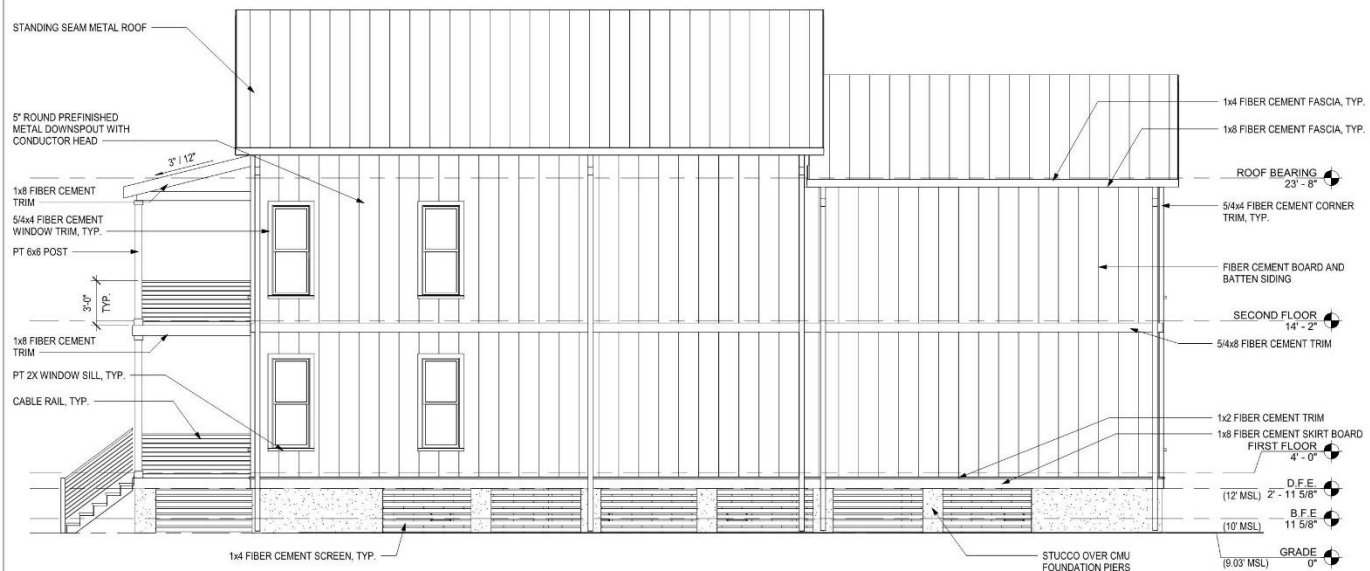
NEW RESIDENCE
370 F STREET
CHARLESTON, SC 29403

EXTERIOR
ELEVATIONS

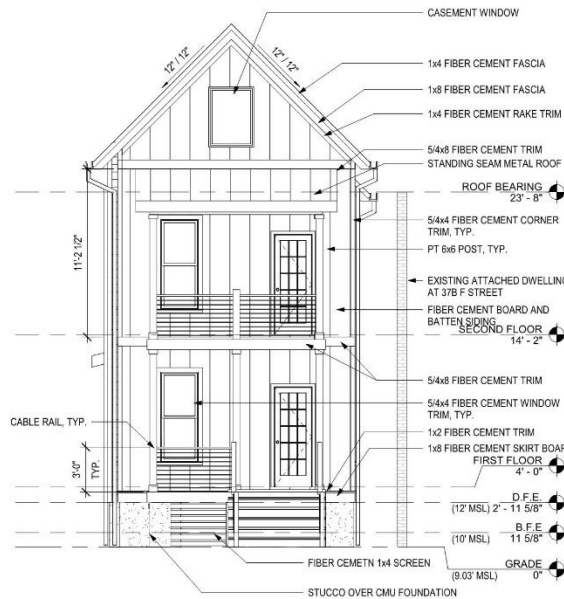
Project number: 2152
Date: 04/13/2022
Drawn by: Author
Checked by: Checker

A200

4/13/2022 1:25:04 PM



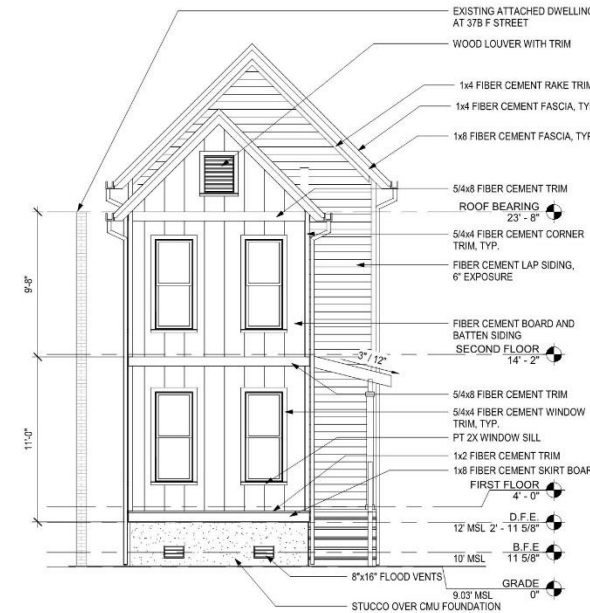
4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

Agenda Item #B-2

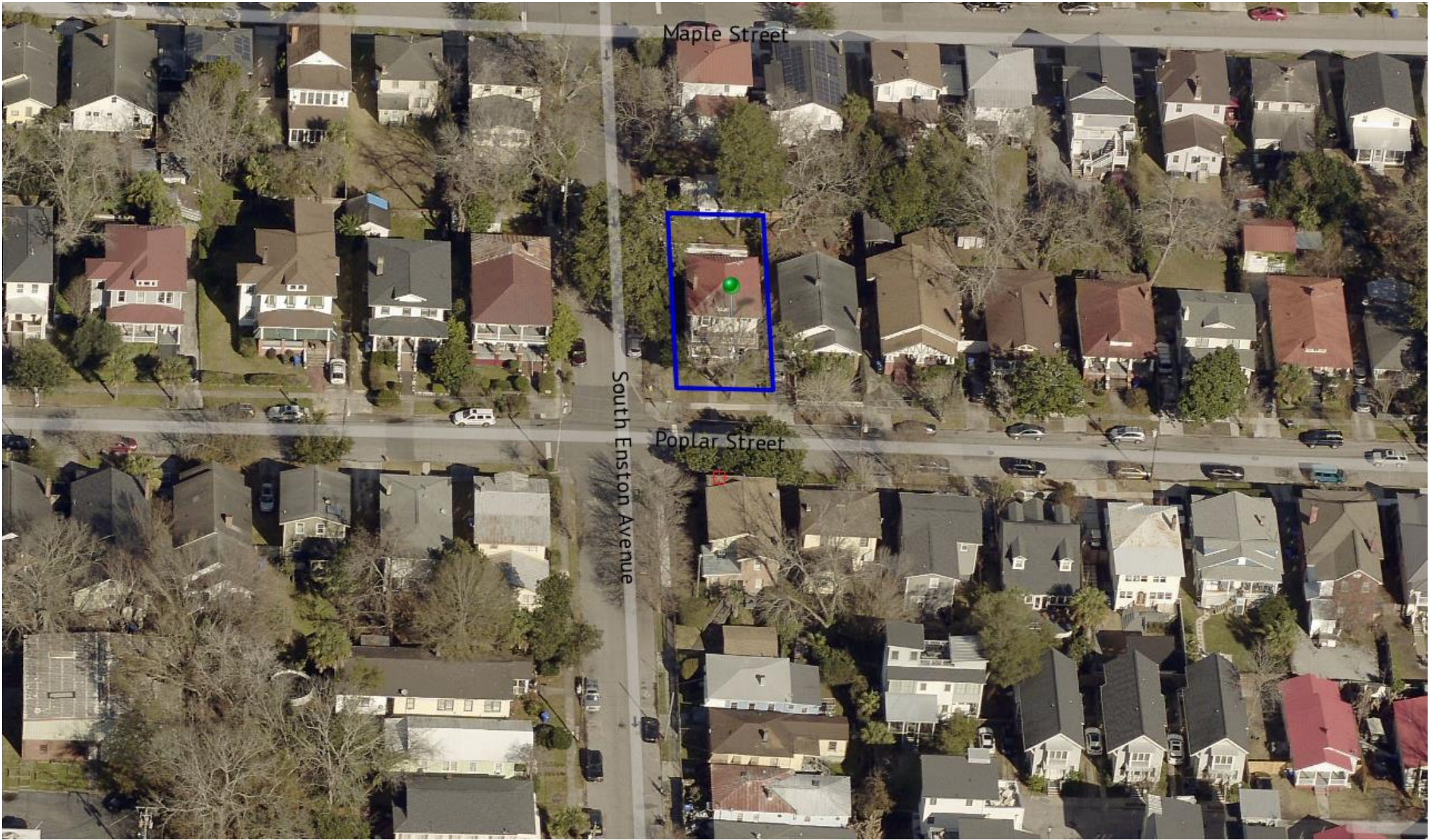
48 POPLAR STREET
(NORTH CENTRAL)
TMS # 463-12-01-118

Request special exception under Sec. 54-110 to allow construction of a detached accessory building that extends a non-conforming 5-ft. east side setback and a non-conforming 12-ft. 3-inch side street setback (9-ft. and 25-ft. required).

Request variance from Sec. 54-301 to allow construction of a detached accessory building with an 11.9-ft. rear setback (25-ft. required).

Zoned SR-2





Maple Street

South Easton Avenue

Poplar Street





Application for Variance, Special Exception, Reconsideration, or Extension
to the **Board of Zoning Appeals – Zoning (BZA-Z)**

Page 1 of 2

City of Charleston

Instructions – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: May 17, 2022

Property Address 48 Poplar Street TMS # 463-12-01-118

Property Owner Neil & Alison Donnelly Daytime Phone 508-397-3247

Applicant Neil & Alison Donnelly, Zourzouk's Homes Daytime Phone 508-397-3247-848 214 3883

Applicant's Mailing Address 48 Poplar Street, Charleston, SC 29403

E-mail Address neilcdonnelly@gmail.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Same

Zoning of property SR-2

Information required with application: (check information submitted)

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)
☐ Check, credit card or cash (make checks payable to the City of Charleston)
☐ **YES or NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 4/3/22

For office use only		
Date application received	Fee \$	Time application received
Staffperson		Receipt #

BZA-Z Application (continued)

Page 2 of 2

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

The extraordinary condition pertaining to this particular piece of property is that the existing lot on record was built prior to current zoning laws going into effect. Given that the lot cannot get any wider or deeper, it is not possible to follow the current zoning ordinance (Zoning Ordinance Sec. 54-506) of a 25' setback from each side of the property. The application of the current ordinance to this particular piece of property would effectively prohibit the utilization of the property as a 25' setback from each side of the property is not possible. The authorization of the variance will not be of substantial detriment to the adjacent properties, or to the public good, as we are increasing or keeping the setback the same from what currently exists and improving the value of the property. Currently we have an unusable metal corrugated carport with a less than 1 foot setback off the side property line on the S. Enston Street side of the lot. We are requesting this variance to remove this eyesore and built a more functional accessory building that will be in-line with the character of the neighborhood.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

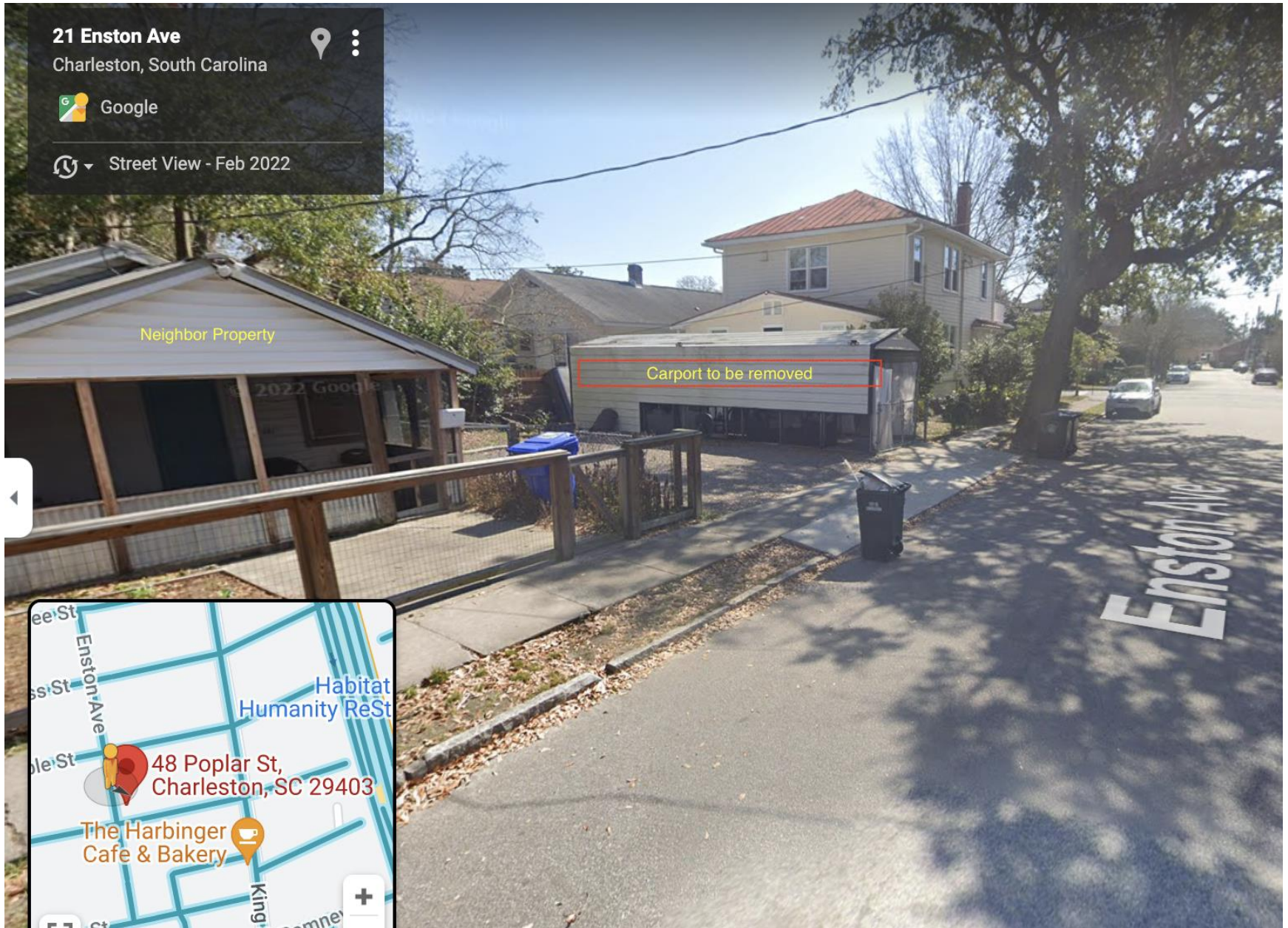
In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

We are requesting a special exception to Zoning Ordinance Sec. 54-506-Exceptions to setback requirements. Currently we have an existing encroachment of a carport that has a <1 foot setback on the left side (S. Enston Street) property line and a 5'3" setback off the right side property line (adjacent to 46 Poplar Street). This structure was here when we purchased the home in February 2019. Our plans submitted for approval provide for a greater left side setback than currently exists, and a similar 5'0" setback on the right side setback. We are not creating an adverse reaction, but are attempting to bring value to the neighborhood by removing an ugly, unusable, corrugated metal carport, and replacing it with a more functional garage structure that will be more in-line with the architecture of the neighborhood. Given the depth and width of the existing lot, which was built prior to the current zoning laws going into effect, we cannot achieve a 25' setback; but can provide a minimum of a 5' setback on both the sides and rear of the property.

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

Department of Planning, Preservation & Sustainability 2 George Street Charleston, South Carolina 29401
 (843) 724-3781 www.charleston-sc.gov/zoning



INDEX

- A - TITLE SHEET, SPECIFICATIONS
A0a - EXISTING SITE PLAN
A0b - PROPOSED SITE PLAN
A1 - FLOOR PLANS & SECTION
A2 - ELEVATIONS
A3 - DETAILS
E1 - ELECTRICAL PLANS

DETACHED ACCESSORY BUILDING
48 POPLAR ST.
CHARLESTON, SC
TMS NO. 463-12-01-117



FRONT ELEVATION
SCALE 1/4" = 1'

GENERAL NOTES

DRAWINGS SHALL BE CONSIDERED DIAGRAMMATIC AND THEREFORE NEVER BE SCALED. WRITTEN OR NOTED DIMENSIONS SHALL BE FOLLOWED TO INDUSTRY STANDARDS. WHERE DIMENSIONS ARE NOT FOUND OR ARE UNCLEAR, CONTRACTOR SHALL CONTACT DESIGNER FOR CLARIFICATION.

CONTRACTOR SHALL CHECK DRAWINGS AND SPECIFICATIONS AND NOTIFY DESIGNER OF OMISSIONS OR DISCREPANCIES PRIOR TO THE START OF ANY WORK.

CONTRACTOR SHALL INSURE ALL WORK COMPLIES WITH APPLICABLE CODES, REGULATIONS, AND LAWS.

CONTRACTOR SHALL TAKE ANY MEASURE NECESSARY TO PROTECT ADJACENT PROPERTIES AND STRUCTURES ON PROJECT PROPERTY NOT SPECIFICALLY STATED TO BE MODIFIED OR REMOVED. CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM CONSTRUCTION, AT NO CHARGE TO HOME OWNER OR DESIGNER.

CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED FOR COMPLETED PROJECT, INCLUDING BUT NOT LIMITED TO CONNECTIONS TO PUBLIC UTILITIES, WELLS, SEPTIC SYSTEMS WHERE APPLICABLE.

IF CONTRADICTIONS ARE FOUND BETWEEN SPECIFICATIONS AND DRAWINGS AFTER THE START OF WORK, EITHER APPLICATION MAY BE STIPULATED BY THE DESIGNER AT NO ADDITIONAL CHARGE TO THE HOME OWNER OR DESIGNER.

CLARIFICATION DETAILS REQUESTED BY CONTRACTOR AFTER START OF WORK SHALL BE COMPLETED WITH AS PART OF BASE BID.

REQUESTS FOR SUBSTITUTIONS OF METHODS OR MATERIALS SHALL BE SUBMITTED TO DESIGNER IN WRITING PRIOR TO THE START OF RELATED WORK. WHERE COST DIFFERENCES OCCUR, QUOTES OR ESTIMATES SHALL BE SUBMITTED.

ALL CHANGE ORDER REQUESTS SHALL BE APPROVED IN ADVANCE AND BE ACCOMPANIED BY QUOTES OR ESTIMATES.

ALL DOORS AND WINDOWS ARE TO BE INSTALLED PER MANUFACTURER SPECS. SEE MANUFACTURER'S SHOP DRAWINGS FOR INSTALLATION AND FLASHING DETAILS. REFER TO MFR. R.O. PRIOR TO FRAMING.

ALL EXTERIOR MATERIALS - SIDING AND TRIM, STUCCO CONVENTIONAL AND ROOFING - SHALL BE INSTALLED PER MANUFACTURER'S SPECS AND RECOMMENDATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SHOP DRAWINGS AND MANUFACTURE SPECIFICATION FOR INSTALLATION, AS WELL AS OVERSEEING THE INSTALLATION AND/OR APPLICATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS REQUIRED FOR PROJECT COMPLETION.

CONTRACTOR TO PROVIDE "ICE & WATER SHIELD" WINDOW FLASHING AT ALL WINDOWS AND DOORS.

THE GENERAL CONTRACTOR SHALL HOLD HARMLESS THE DESIGNER AND HIS AGENTS AGAINST LOSS, DAMAGE, LIABILITY, OR ANY EXPENSE ARISING IN ANY MANNER FROM THE WRONGFUL OR NEGLIGENCE OF THE CONTRACTOR AND INDEPENDENT CONTRACTORS AND THEIR RESPECTIVE EMPLOYEES.

ABBREVIATIONS

- TYP.: TYPICAL
DTL.: DETAIL
DBL.: DOUBLE
PKT.: POCKET
T.: TEMPERED
E.: EXPRESS
CO.: CENTER
P.T.: PRESSURE-TREATED
REF.: REFRIGERATOR
DW.: DISHWASHER
MW.: MICROWAVE
PREFIN.: PREFINISHED
ALUMN.: ALUMINUM
CONC.: CONCRETE
ARCH.: ARCHITECTURAL
C.J.: CEILING JOIST
R.R.: ROOF RAFTER
G.W.B.: DRYWALL
G.Y.P.: DRYWALL
B.F.E.: BASE FLOOD ELEVATION
WP.: WATERPROOF
CONT.: CONTINUOUS
A.C.: ABOVE COUNTER
A.F.F.: ABOVE FINISH FLOOR
ELEV.: ELEVATION
F.P.: FROST PROOF



THE DRAWINGS AND THE DESIGN HEREON ARE THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DOCUMENT OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM COASTAL CREEK DESIGN.

COASTAL CREEK DESIGN
501 BELLE HALL PARKWAY, UNIT 201
NORFOLK, VA 23502
804-554-1700

Project
48 POPLAR ST.
Sheet No.
TITLE SHEET

D.P. in Charge
A.B.
Job Captain
B.H.
Drawn By
C.B.
Date Drawn
4/22/2022
Issued for Pricing
B.H.
Issued for Permit
B.H.

Revisions
Rev. _____ Date _____
Rev. _____ Date _____
Rev. _____ Date _____
Rev. _____ Date _____
Rev. _____ Date _____
Rev. _____ Date _____

Issue Date: 6/4

A

NOTES AND SPECIFICATIONS:

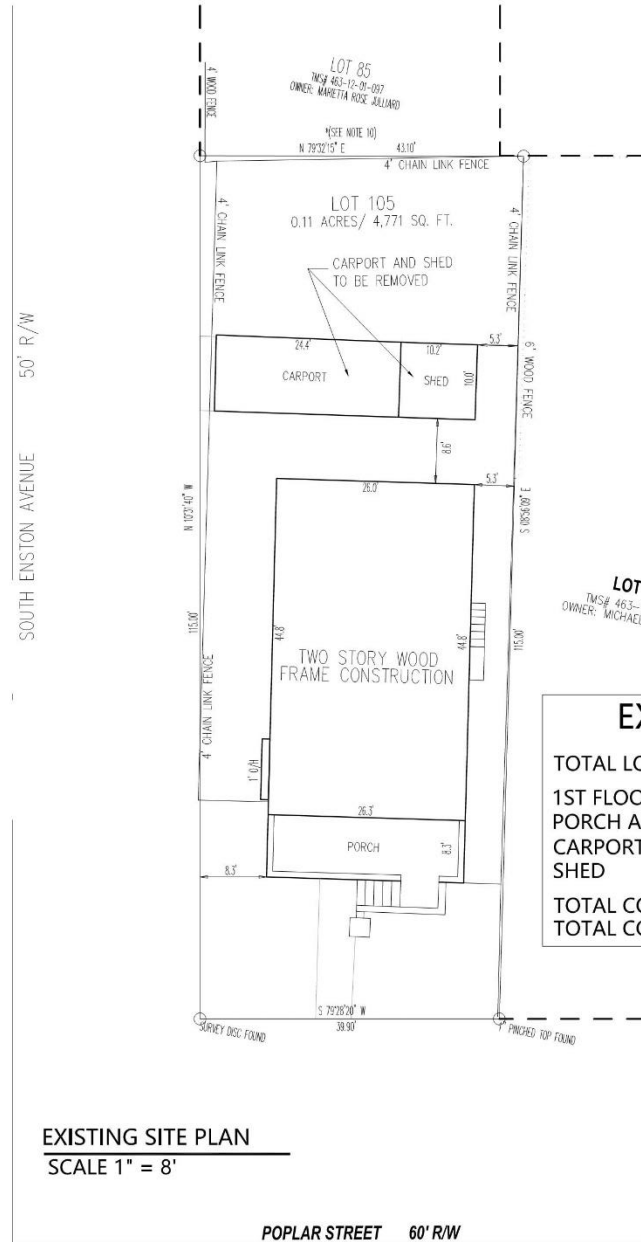
1. G.C. SHALL ENSURE COMPLIANCE WITH ALL NATIONAL, STATE & LOCAL CODES, (IRC 2018).
2. HVAC SUB SHALL SIZE 1 UNIT, ZONE FOR FIRST & SECOND FLOORS THE UNIT SHALL BE 14.5 SEER VARIABLE SPEED SPLIT SYSTEM TRANE OR EQUAL. LOCATE DIGITAL PROGRAMMABLE T-STATS IN FIELD. ALL SUPPLY REGISTERS SHALL BE LOCATED IN THE CEILING.
3. ELECTRICAL SUB SHALL PROVIDE MINIMUM (1) 100 AMP PANEL LOCATED IN LAUNDRY ROOM. PANEL MUST HAVE ADEQUATE SPARES FOR ANY POSSIBLE FUTURE BUILD-OUT.
4. G.C. SHALL PROVIDE STRUCTURAL WIRING PER PLAN AND OWNERS REQUIREMENTS. SURROUND SOUND IF REQUESTED BY OWNER LOCATE PANEL IN LAUNDRY ROOM & PROVIDE POWER OUTLET.
5. ALL WINDOWS ARE SPECIFIED AS JELD-WEN WHITE VINYL DOUBLE HUNG OR CASEMENT - ALL WHITE SASHES ALL WINDOWS SHALL MEET THE DP-50 DESIGN REQUIREMENT. ALL LATCHING HARDWARE SHALL BE WHITE PROVIDE 7/16" OSB PRECUT PANELS FOR HURRICANE PROTECTION AND FASTEN W/ PANEL MATE SYSTEM.
6. ALL DOORS ARE SPECIFIED AS THERMA-TRU IMPACT WITH DARK SILLS. FRONT DOOR TO BE STAIN GRADE FIBERGLASS. ALL DOORS SHALL BE DOUBLE BORE W/ ORB HINGES.
7. ALL EXPOSED EXTERIOR WOOD SHALL BE PRESSURE TREATED.
8. ALL SIDING SHALL BE HARD-PLANK HORIZONTAL CEMENT FIBER - COLOR BY OWNER - INSTALL PER MANUF. STANDARDS. EXTERIOR TRIM MATERIAL SHALL BE HARD-TRIM. OWNER MAY SUBSTITUTE VINYL SIDING & TRIM.
9. SEE DETAIL FOR ALL WINDOW AND DOOR TRIM.
10. ALL HARDWOOD FLOORS SHALL BE PREFINISHED 3/8" ENGINEERED - GLUE DOWN APPLICATION OVER CONCRETE SLAB.
11. PROVIDE (1) RINNAI 8.4 GPM GAS WATER HEATER MOUNTED TO THE EXTERIOR LOCATED IN THE FIELD - PAINT TO MATCH SIDING.
12. ALL INTERIOR DRYWALL SHALL BE 1/2" PRIMED AND PAINTED WITH 2 COATS OF FLAT INTERIOR LATEX - SHERWIN WILLIAMS SUPERPAINT MIN. GRADE TRIM SHALL BE SHERWIN WILLIAMS SUPERPAINT LATEX SEMI-GLOSS.
13. ALL INTERIOR DOORS ARE MASONITE SOLID CORE 1 3/8" THICK - PAINTED. PANEL STYLE BY OWNERS W/ ORB HINGES.
14. PROVIDE (4) EXTERIOR HOSE BIBBS VERIFY LOCATIONS IN FIELD WITH OWNER PRIOR TO INSTALLATION.
15. INSULATION IS AS FOLLOWS: R-30 FIBERGLASS BATTS IN THE ATTIC W. BAFFLES AS REQ'D R-19 FIBERGLASS BATTS IN ALL EXTERIOR WALLS. GROUND FLOOR IS ELEVATED SLAB. NO INSULATION REQUIRED. PROVIDE SOUND BATTIS IN ALL BATHROOM & LAUNDRY WALLS. INSULATE BETWEEN FLOORS WITH R-19 FIBERGLASS BATTS. FOAM AROUND ALL WINDOWS & DOORS. CAULK ALL STUD GAPS & PLATES.
16. PROVIDE DRYER VENT LINE TO EXTERIOR, PROVIDE FLOOR DRAIN IN LAUNDRY WITH A DRAIN LINE TO THE EXTERIOR.
17. ALL INTERIOR DOORS SHALL BE LOCATED 6" OFF A WALL FOR TRIM UNLESS NOTED OTHERWISE.
18. ALL INTERIOR WALL THAT WILL RECEIVE POCKET DOORS SHALL BE 2x6's.
19. INTERIOR WALLS SHALL BE 2x4's UNLESS NOTED DIFFERENTLY ON PLANS.
20. G.C. SHALL PROVIDE GAS LINE TO FIREPLACE, WATER HEATER, FRONT ENTRY GAS LIGHT, FUTURE EXTERIOR FIREPLACE AND ANY APPLIANCES SELECTED BY OWNER THAT REQUIRE GAS.
21. PROVIDE WATER & ICE WATERPROOFING AROUND ALL WINDOW OPENINGS - SET ALL EXT. DOORS IN COPPER PANS.
22. ALUMIN FLASHING SHALL BE USED AS NOTED ON THE PLANS INCLUDING ABOVE ALL WINDOW/DOOR HEADS, BAND JO. SET ALL EXTERIOR DOORS IN COPPER DOOR PANS.
23. ALL DECKS & PORCHES MUST SLOPE A MINIMUM OF 1/4" PER FOOT AWAY FROM THE HOUSE AND BE FLASHED ACCORDING TO GENERAL PRACTICES. INSTALL 3" WIDE STRIP OF BITUMINUS WATERPROOFING TO SHEATHINGS AT ALL DECK TO HOUSE CONNECTIONS PRIOR TO INSTALLING DECK JOISTS, BEAMS OR LEDGERS.
24. EXTERIOR FIRST FLOOR PORCHES & DECKS TO BE TREATED EE DECKING 5/4" THICK (SCREENED PORCH SHALL BE T&G MATERIAL) SAND AT COMPLETION OF CONSTRUCTION STAIN & SEAL.
25. G.C. SHALL PRETREAT SOIL FOR ALL SUBTERRANEAN INSECTS INCLUDING FORMOSSEN TERMITES.
26. GARAGE DOORS SHALL BE 9'-0" WIDE X 7'-0" TALL W/ EXTERIOR KEYLESS ENTRY BELT DRIVE 3/4 HP MOTORS. PROVIDE METAL HORIZ. REINFORCING BARS FOR HURRICANE WIND LOADS ALL FRAMING MATERIAL SHALL BE #1 CLASSIFIED WOOD SOUTHERN YELLOW PINE.
27. G.C. SHALL KEEP JOBSITE CLEAN OF DEBRIS ON A WEEKLY BASIS. CLEAN ALL SUB-FLOOR & STUD SPACINGS PRIOR TO INSULATION. CLEAN AGAIN BEFORE INTERIOR PAINTING AND PROVIDE A FINAL CLEANING FOR MOVE-IN.
28. INTERIOR HANDRAIL SHALL BE LJ SMITH # L4-6400P - WOOD TO MATCH FLOOR. BALUSTERS TO BE #18P-3160 PRIMED FOR PRICING. OWNER TO SELECT FINAL HANDRAIL & BALUSTER STYLE DURING CONSTRUCTION.
29. ALL PLUMBING WALL ESCUTCHEON PLATES AND SHUTOFF VALVES TO BE CHROME. NO PVC OR PEI PIPING SHALL BE VISIBLE. WRAP ALL EXPOSED PIPES IN INSULATION.
30. G.C. SHALL INSTALL (5) SHEETS OF 3/4" ADVANTIC SUB-FLOORING IN ATTIC AREA FOR STORAGE - PROVIDE LIGHT SOURCE BY AIR HANDLER PLUS 2 OTHER LOCATIONS.
31. PROVIDE (1) 16X20 TWO COMPARTMENT PREFORMED SHOWER NICHE IN ALL TILED SHOWER/TUB LOCATIONS. LOCATE IN FIELD WITH OWNER.
32. METAL ROOFING IS 26 GAUGE 5V-CRIMP PREFINISHED. COLOR BY OWNER USE ICE AND WATER UNDERLAYMENT NON-GRANULATED.
33. ALL INTERIOR TRIM MATERIAL SHALL BE MDF UNLESS NOTED OTHERWISE.
34. GARAGE CEILING SHALL BE 5/8" TYPE "XX" DRYWALL - HUMITEX. PRIME AND PAINT WITH A MOLD RESISTANT PAINT ADDITIVE.
35. PROVIDE HVAC SUPPLY VENT IN ALL WALK-IN CLOSETS.

ISSUED FOR CONSTRUCTION

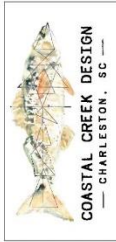
OWNERS SIGNATURE:

CONTACTORS SIGNATURE:

DATE:



EXISTING COVERAGE	
TOTAL LOT AREA	4,771 SQFT
1ST FLOOR	1,181 SQFT
PORCH AND STAIRS	290 SQFT
CARPORT	248 SQFT
SHED	102 SQFT
TOTAL COVERAGE	1,821 SQFT
TOTAL COVERAGE %	38.16 %



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COASTAL CREEK DESIGN
501 BELLE HALL PARKWAY, UNIT 201
MOUNTAIN VIEW, SC 29571
843-544-1700

Project: 48 POPLAR ST.
Sheet Title: EXISTING SITE PLAN

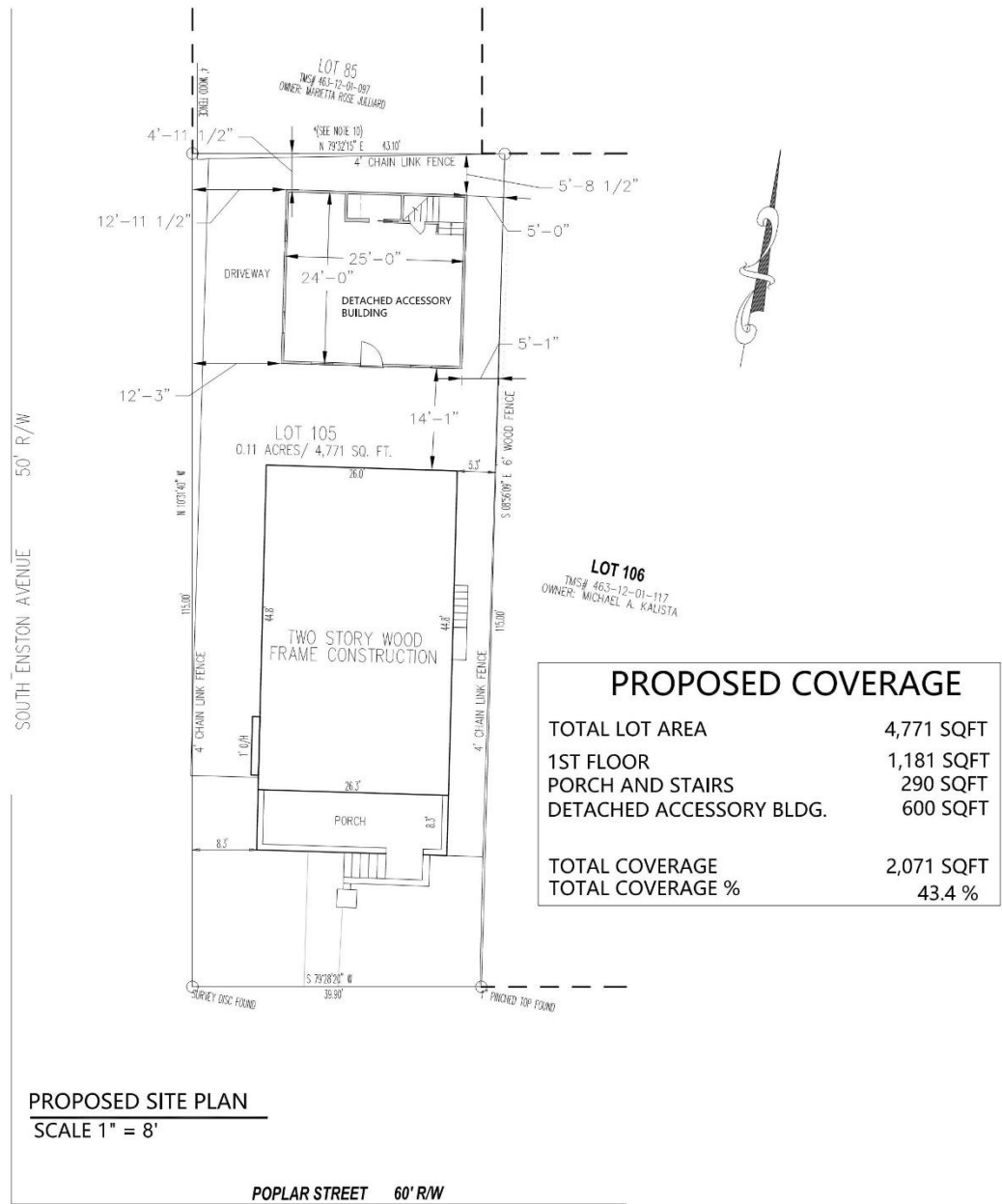
D.P. in Charge: JAE
Job Captain: BR
Drawn By: CA
Date Drawn: 4/23/2023
Issued for Pricing: BR
Issued for Permit: JAE

Revisions:

Rev	Date	By

Issue Date: CA

A0a



COASTAL CREEK DESIGN
— CHARLESTON, SC —

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COASTAL CREEK DESIGN

COASTAL CREEK DESIGN
501 BELLE HALL PARKWAY, UNIT 201
MOUNTAIN VIEW, SC 29546
843-544-1700

Project: **48 POPLAR ST.**
Sheet Title: **PROPOSED SITE PLAN**

D.P. in Charge
A/E
Job Captain
B/E
Drawn By
C/E
Date Drawn
4/23/2022
Issued for Pricing
B/E
Issued for Permit
B/E

Revisions

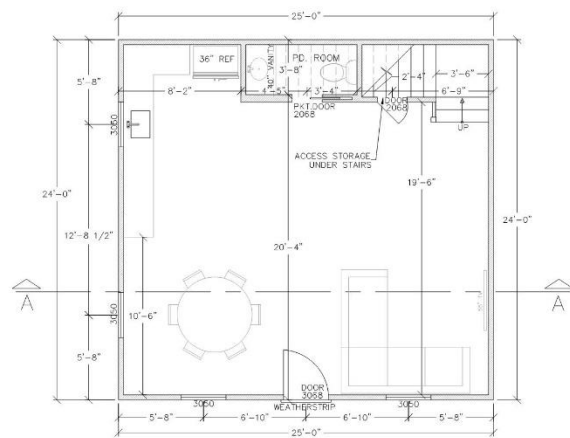
Rev	Date	Description

Issue Date: C/E

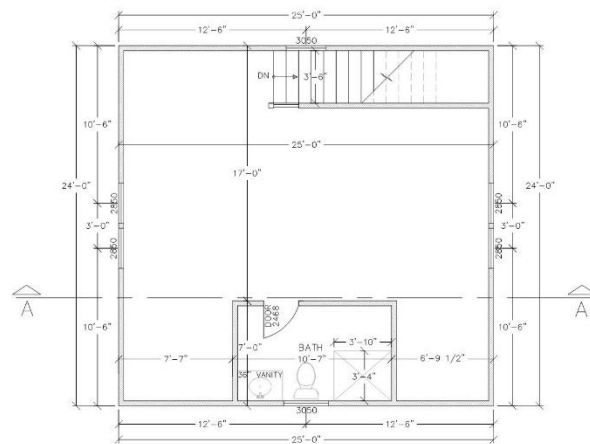
A0b

C0029
COASTAL CITIES DESIG

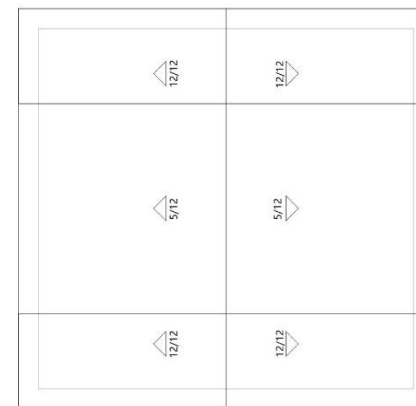
COASTAL CREEK DESIGN



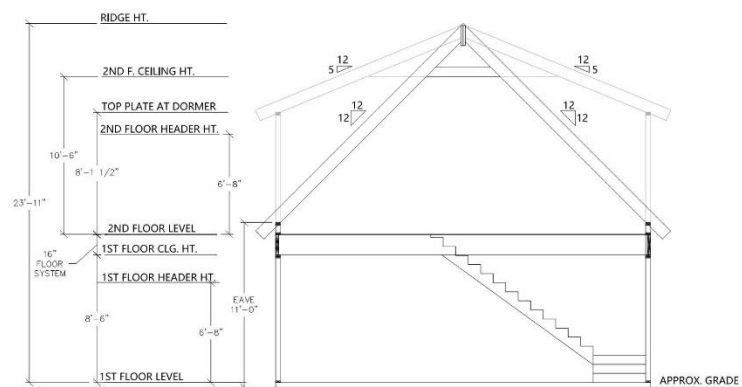
1ST FLOOR PLAN
SCALE 1/4" = 1'



2ND FLOOR PLAN
SCALE 1/4" = 1'



ROOF PLAN
SCALE 1/4" = 1'



SECTION AA
SCALE 1/4" = 1'

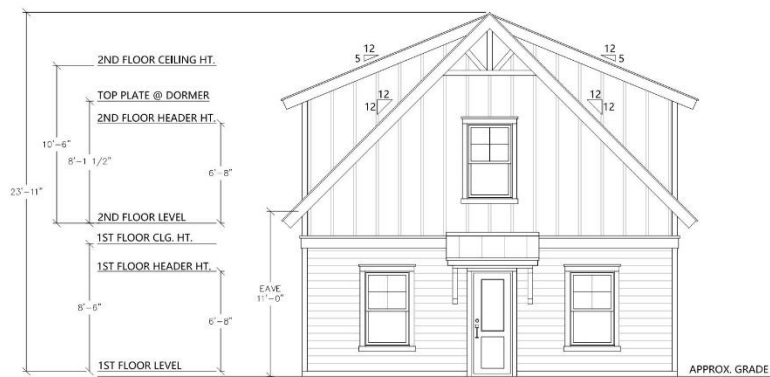
PROPOSED 1ST FLOOR AREA	600 SQFT
PROPOSED 2ND FLOOR HEATED AREA	300 SQFT

Project	48 POPLAR ST.
Sheet Title	

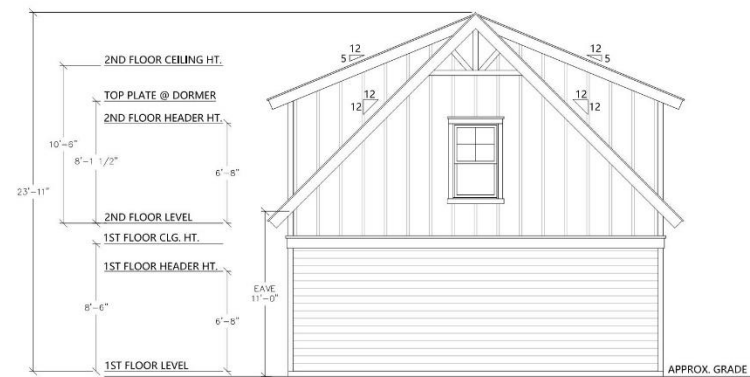
D.P. in Charge
A#
Job Captain
B#
Drawn By
C#
Date Drawn
4/22/2022
Issued for Pricing
E#
Issued for Permit
F#

[illegible]Issue Date G

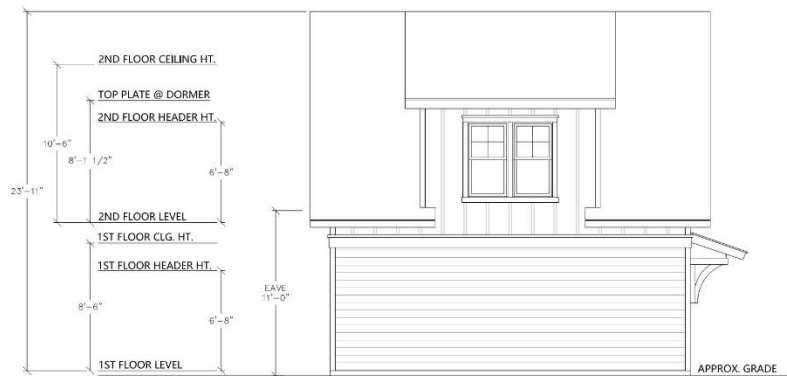
A1



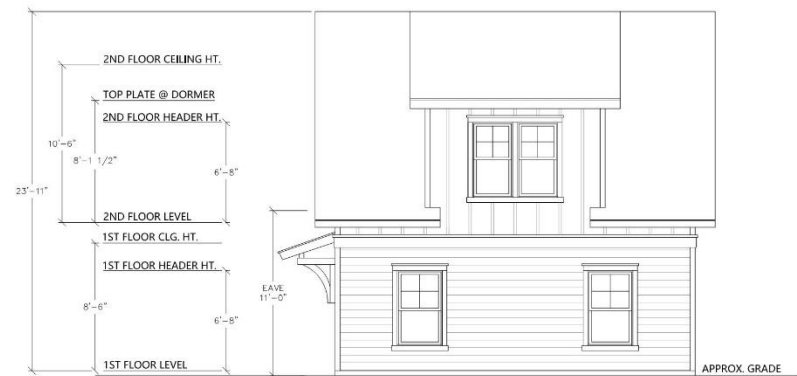
FRONT ELEVATION
SCALE 1/4" = 1'



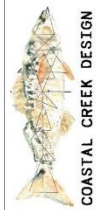
REAR ELEVATION
SCALE 1/4" = 1'



RIGHT ELEVATION
SCALE 1/4" = 1'



LEFT ELEVATION
SCALE 1/4" = 1'



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COASTAL CREEK DESIGN

COASTAL CREEK DESIGN
501 BELLE HALL PARKWAY, UNIT 201
NORFOLK, VA 23502
848-544-1700

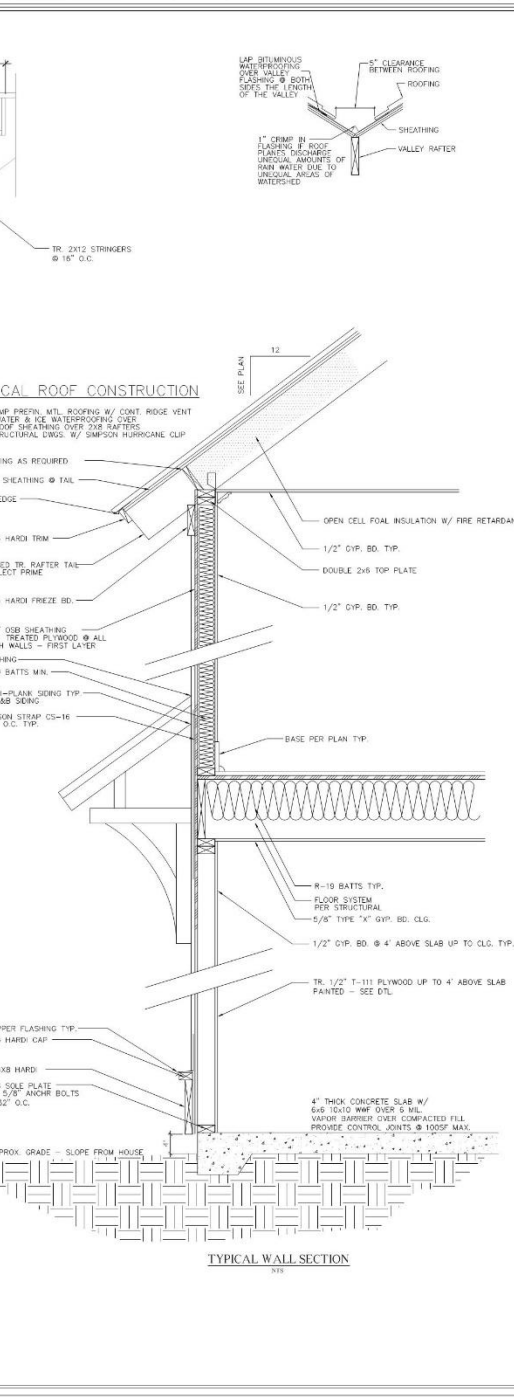
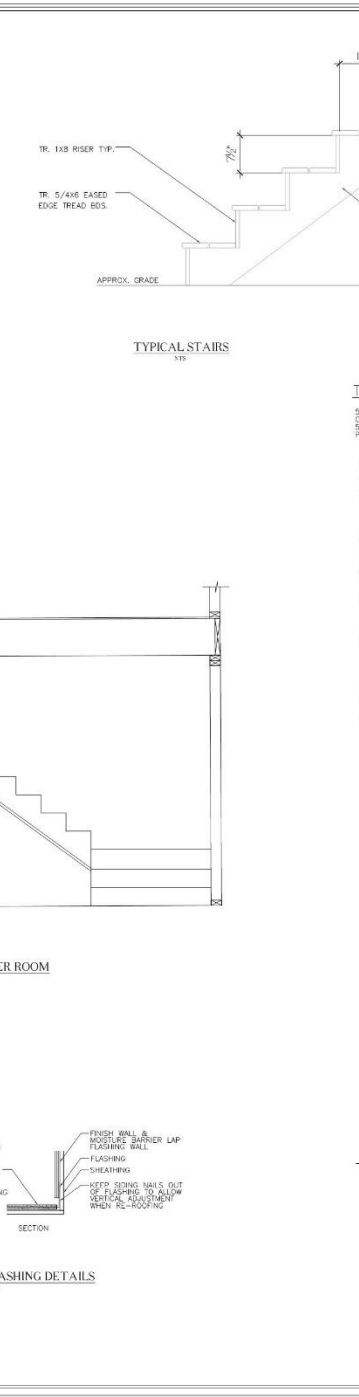
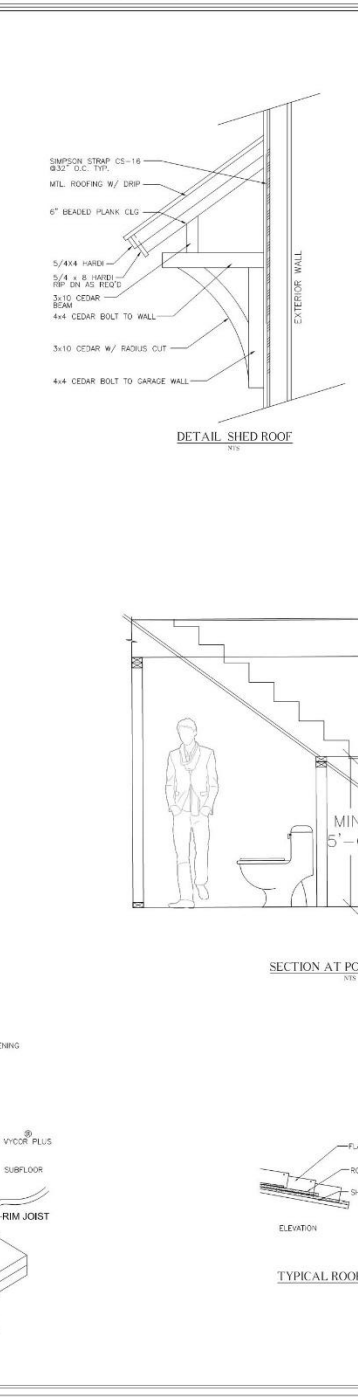
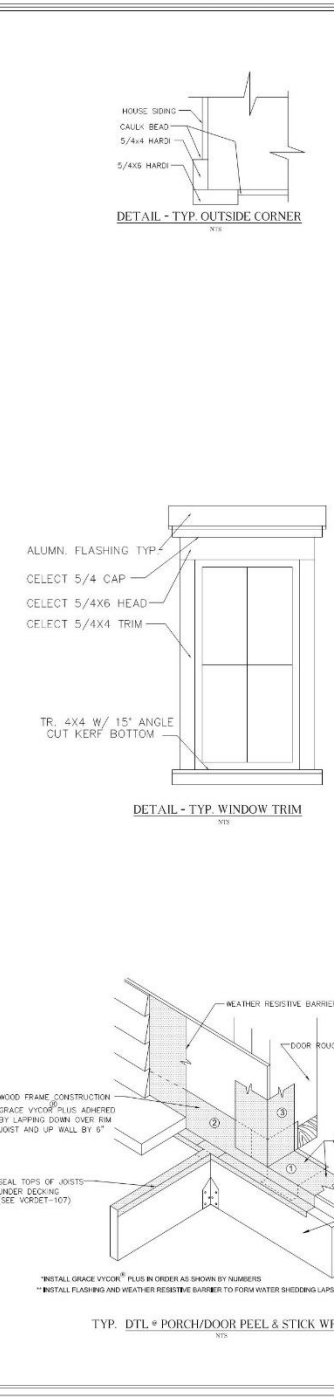
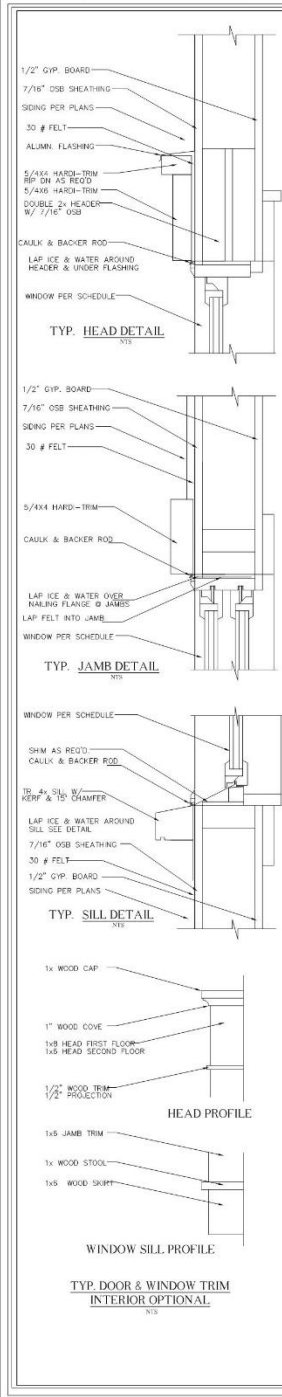
Project
48 POPLAR ST.
Sheet Title
ELEVATIONS

D.P. in Charge
A.H.
Job Captain
B.H.
Drawn By
C.H.
Date Drawn
4/23/2022
Issued for Pricing
B.H.
Issued for Permit
A.H.

Revisions
Rev. _____ Date _____
Rev. _____ Date _____
Rev. _____ Date _____
Rev. _____ Date _____
Rev. _____ Date _____
Rev. _____ Date _____

Issue Date C.H.

A2



COASTAL CREEK DESIGN
 — CHARLESTON, SC —

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COASTAL CREEK DESIGN
 501 BELLE HALL PARKWAY, UNIT 201
 MYRTLE BEACH, SC 29577
 843-514-1700

COASTAL CREEK DESIGN
 501 BELLE HALL PARKWAY, UNIT 201
 MYRTLE BEACH, SC 29577
 843-514-1700

Project: **48 POPLAR ST.**
 Sheet No: **DETAILS**

D.P. in Charge
 Job Captain
 By
 Drawn By
 Date Drawn
 4/22/2023
 Issued for Pricing
 Issued for Permit

Revisions
 Rev. _____
 Rev. _____
 Rev. _____
 Rev. _____
 Rev. _____
 Rev. _____
 Rev. _____

Issue Date: **04**

A3

LEGEND:

8" CONTINUOUS CMU WALL W/ #5 REINF STEEL @ 32" OC AND WITHIN 1'-0" OF THE CORNERS. TOP COURSE TO BE BOND BEAM

DENOTES OUTSIDE EDGE OF CONTINUOUS 24" WIDE, 12" DEEP FOOTING

DENOTES CENTER OF THICKENED CONCRETE SLAB 16" WIDE, 16" DEEP, SEE DETAIL B1 ON THIS PAGE

DENOTES LOCATION OF CORNER HOLD-DOWN BRACKETS BETWEEN WALLS & PIERS. SEE DETAIL "K" Use SIMPSON HDU5-SDS2.5

This footing is based off an assumed bearing capacity of 2,000 PSF. BUILD TO VERIFY bearing capacity prior to construction. If less than 2,000 PSF, contact EOR for a new plan.

Builder has option of Monolithic slab instead of footing/cmu foundation. See Sheet S4 for details of monolithic slab option.

NOTES:

1. INSTALL ALL SIMPSON STRAPS IAW MANUF. RECOMMENDATIONS.
2. CONNECT OUTSIDE SLAB TO STUDS WITH COMBINATION OF 1/2" ANCHOR BOLTS AND H2.5 CLIPS - SEE DETAIL ON S4.
3. IF TOP OF SLAB IS LOWER THAN FLOOD ELEVATION, THEN PROVIDE HYDROSTATIC OPENINGS AS REQUIRED BY CODE (MIN 600 SQ IN).

LEGEND:

DENOTES MULTI-PLY GFLAM LVL BEAM. SEE PLAN FOR SIZE AND NUMBER OF PLY. BOLT TOGETHER AS PER LVL FASTENING CHART

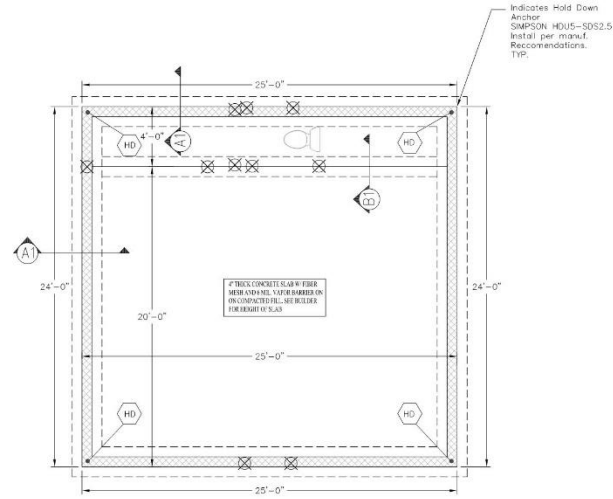
DENOTES 2EA 16" OPEN WEB TRUSSES DENOTES 2EA 16" BC160 I JOISTS BUILDERS CHOICE

DENOTES 16" OPEN WEB TRUSSES @ 16" O.C. DENOTES 16" BC160 I JOISTS @ 16" O.C. BUILDERS CHOICE

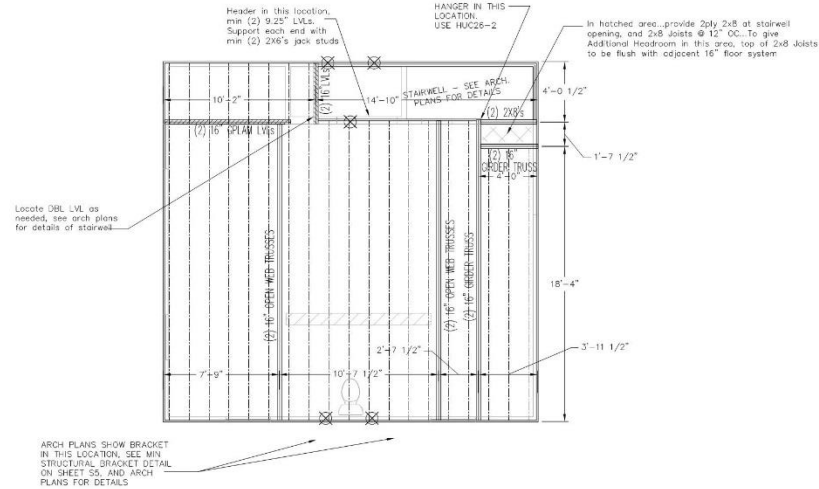
DENOTES SINGLE 16" RIM BOARD

DENOTES LOAD BEARING PERPENDICULAR CROSSING WALL FROM ABOVE. TRUSS SUPPLIER TO ACCOUNT FOR THIS LINE LOAD IN DESIGN

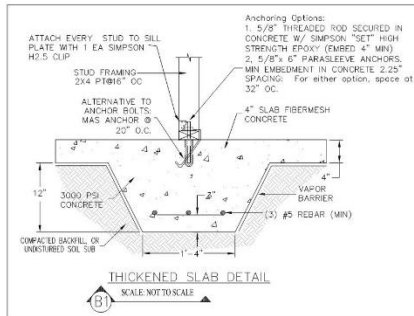
DENOTES OUTSIDE EDGE OF WALLS BELOW



FOUNDATION PLAN
SCALE 1/4" = 1'



FLOOR FRAMING PLAN
SCALE 1/4" = 1'



THIS DRAWING IS FOR THE PURPOSE OF PROVIDING STRUCTURAL DESIGN INFORMATION FOR THIS RESIDENTIAL STRUCTURE ONLY. ADDITIONAL INFORMATION PERTAINING TO THE DESIGN & CONSTRUCTION OF THIS STRUCTURE IS PROVIDED ON THE MASTER PLAN "48 POPLAR ST, DETACHED ACCESSORY BUILDING" BY COASTAL CREEK DESIGN, MT. PLEASANT, SC, DATED 4/22/22. INFORMATION PROVIDED ON THIS STRUCTURAL DRAWING SUPERCEDES ANY STRUCTURAL INFORMATION ON THE MASTER PLANS.

FRAMING PLAN NOTES:

1. ALL DIMENSIONS SHOWN ON FRAMING PLANS ARE FROM THE OUTSIDE OF THE STUD WALL TO THE CENTER OF THE MEMBER.
2. INSTALL FLOOR JOISTS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED INSTALLATION INSTRUCTIONS. SEE MANUF. LITERATURE FOR FRAMING DETAILS.
3. USE JOIST HANGERS FOR ALL FLOOR JOISTS AND CEILING JOIST CONNECTIONS, NO LEDGERS.
4. NO CHANGES CAN BE MADE TO THIS FRAMING PLAN, WITHOUT WRITTEN PERMISSION FROM THE ENGINEER OF RECORD.
5. REVIEW THE NOTES ON PAGE S1 OF THE DRAWINGS PRIOR TO START OF CONSTRUCTION. CONTACT THE ENGINEER OF RECORD IF YOU HAVE ANY QUESTIONS.
6. REVIEW WALL CROSS SECTION DETAILS PRIOR TO START OF CONSTRUCTION.
7. STRAP FRONT AND REAR PORCH COLUMNS CONTINUOUSLY FROM PORCH FLOOR BAND TO TOP BAND OF PORCH ROOF.
8. CONTRACTOR AND TRUSS SUPPLIER TO ENSURE THAT WALLS RUNNING PARALLEL TO JOISTS ABOVE ARE SUPPORTED WITH MINIMUM 2EA FLOOR JOISTS DIRECTLY BELOW.
9. FRAMING PLAN DOES NOT SIZE HEADERS OVER DOORS OR DROPPED HEADERS, SEE HEADER SIZING CHART FOR SIZING OF HEADERS UP TO 10'-0".
10. ALL FRAMING SHOWN IS TO BE FLUSH FRAMING.
11. INSTALL ALL SIMPSON STRAPS IAW. MANUF. RECOMMENDATIONS.

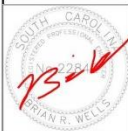
Note on Flood Elevation:
Builder to ensure that all construction methods meet Base Flood Elevation requirements. Obtain an Elevation Certificate or Survey with Elevation Data, and check with local Building official for any additional flood zone construction requirements prior to starting construction.



NO.	DATE	REVISIONS

SC LLR CERT OF AUTH
LIC #4424

SEAL



Brian R. Wells, PE, LLC
BRIAN R. WELLS, PE
501 Belle Hall Parkway, Unit 201
Mount Pleasant, SC 29464
843-514-1790 brian@wellsengineer.net

PROJECT
48 POPLAR ST.
DETACHED ACCESSORY BUILDING
CHARLESTON, SC

SHEET NO.

S2

DATE

4/22/2022

LEGEND:

- ===== DENOTES OUTSIDE EDGE OF WALLS BELOW
- DENOTES 2x8 Ceiling Joists 16" O.C. (OR COLLAR TIES)
- ⊗ DENOTES LOCATION OF POINT LOAD FROM ABOVE
- ===== DENOTES OUTSIDE EDGE OF 2ND FLOOR WALLS BELOW

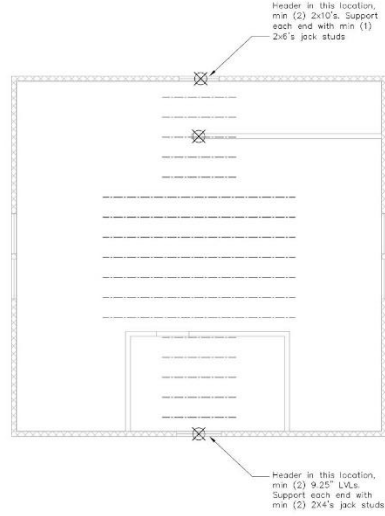
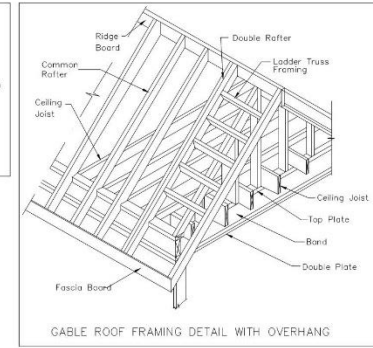
ATTIC ACCESS:
1. BUILDER TO DETERMINE SIZE AND LOCATION OF ATTIC ACCESS

ROOF FRAMING MEMBER SCHEDULE

MEMBER	SPECIFICATIONS
RAFTERS	2x8's @ 16" OC, UNO
CEG JOISTS	SEE CEILING FRAMING PLAN
COLLAR TIES	SEE CHART BELOW
RIDGES	AS NOTED
HIPS	AS NOTED
VALLEYS	AS NOTED

LEGEND:

- ===== DENOTES OUTSIDE EDGE OF WALLS BELOW
- ⊗ DENOTES LOCATION OF POINT LOAD FROM ROOF BRACING
- ===== DENOTES OUTSIDE EDGE OF 2ND FLOOR WALLS BELOW



CEILING FRAMING PLAN
SCALE 1/4" = 1'

CEILING JOIST FRAMING MEMBER SCHEDULE (Uninhabited Attics with Limited Storage)

SPAN	SPECIFICATIONS
UP TO 21'	2x12's Ceiling Joists @ 16" OC, UNO
UP TO 19'	2x10's Ceiling Joists @ 16" OC, UNO
UP TO 16'	2x8's Ceiling Joists @ 16" OC, UNO
UP TO 12'	2x6's Ceiling Joists @ 16" OC, UNO

COLLAR TIE FRAMING MEMBER SCHEDULE (Uninhabited Attics with Limited Storage)

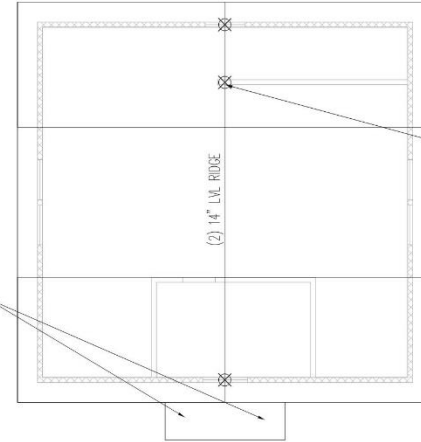
SPAN	SPECIFICATIONS
UP TO 16'	2x10's Collar ties @ 16" OC, UNO
UP TO 14'	2x8's Collar ties @ 16" OC, UNO
UP TO 10'	2x6's Collar ties @ 16" OC, UNO

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FOR MULTIPLE JOIST HANGER CONNECTIONS, USE THE FOLLOWING UNLESS NOTED OTHERWISE
SUBMIT TO EOR FOR APPROVAL
FOR 14" & 16" LVL MEMBERS -
2 PLY - SIMPSON HUS 414
3 PLY - SIMPSON HUS 5.50/14
4 PLY - SIMPSON HUS 7.25/14
FOR 11"-7/8" LVL MEMBERS -
2 PLY - SIMPSON HUS 412
3 PLY - SIMPSON HUS 5.50/12
FOR 9.25" LVL MEMBERS -
2 PLY - SIMPSON HUS 410
3 PLY - SIMPSON HUS 5.50/10
FOR 2X12 DECK MEMBERS -
2 PLY - SIMPSON HUS 212-2
3 PLY - SIMPSON HUS 212-3
4 PLY - SIMPSON HUS 212-4
FOR 2X10 DECK MEMBERS -
2 PLY - SIMPSON HUS 210-2
3 PLY - SIMPSON HUS 210-2

CEILING AND ROOF FRAMING PLAN NOTES:

- THROUGHOUT THIS HOUSE, THERE ARE CERTAIN AREAS THAT ARE VAULTED AND SOME AREAS THAT ARE FLAT.
- SEE ARCH PLANS FOR A CLEAR UNDERSTANDING OF WHERE THE VAULTED AREAS ARE, AND WHERE THE FLAT CEILINGS ARE LOCATED.
- FOR AREAS THAT ARE FLAT CEILINGS, DEFAULT SIZE FOR CEILING JOISTS ARE 2x8's @ 16" OC, UNLESS NOTED OTHERWISE ON DRAWINGS, OR SIZE DEPENDING ON LENGTH, USING THE CHART ON THIS PAGE.
- IF THE BUILDER HAS A CERTAIN AREA WITH COLLAR TIES IN A VAULTED CEILING, THEN SIZE THE COLLAR TIES PER THE CHART ON THIS PAGE, DEPENDING ON THE HEIGHT OF THE CEILING AND LENGTH OF THE COLLAR TIES. BUILDER TO INSTALL COLLAR TIES AT EVERY RAFTER PAIR.
- IF THE BUILDER WOULD LIKE TO DELETE THE COLLAR TIES, THEN HE WILL NEED TO CONNECT EACH RAFTER TO THE RIDGE WITH A SIMPSON LRU2B HANGER. HE SHOULD ALSO INSTALL A 30" LONG CS16 STRAP ACROSS THE RIDGE TO CONNECT EACH RAFTER PAIR TOGETHER. BUILDER MUST GET WRITTEN PERMISSION FROM THE EOR BEFORE COMPLETELY ELIMINATING THE COLLAR TIES IN ANY PARTICULAR AREA, UNLESS SPECIFICALLY CITED ON THIS PLAN.
- IN VAULTED AREAS, INSTALL RAFTERS AND ROOF SYSTEM IN AREAS WHERE COLLAR TIES ARE CALLED OUT PRIOR TO INSTALLING COLLAR TIES/CEILING JOISTS.
- IN AREAS WHERE CEILING JOISTS TO BE COLLAR TIES, BRACE RIDGE BEAM DOWN TO COLLAR TIES AS NEEDED FOR STRUCTURAL SUPPORT.
- NO CHANGES CAN BE MADE TO THIS FRAMING PLAN, WITHOUT WRITTEN PERMISSION FROM THE ENGINEER OF RECORD.
- REVIEW THE NOTES ON PAGE 51 OF THE DRAWINGS PRIOR TO START OF CONSTRUCTION. CONTACT THE ENGINEER OF RECORD IF YOU HAVE ANY QUESTIONS.
- REVIEW WALL CROSS SECTION DETAILS PRIOR TO START OF CONSTRUCTION.
- IF RAFTER TAILS ARE USED, ENSURE THAT THE HURRICANE TIE DOWN STRAPS ARE CONNECTED TO THE MAIN RAFTER, NOT THE TAILS.
- INSTALL ALL SIMPSON STRAPS (AW, MANUF. RECOMMENDATIONS).
- BUILDER TO ONLY BRACE MEMBERS AS INDICATED ON DRAWINGS, IF ADDITIONAL BRACING IS REQUIRED, CONSULT EOR FOR GUIDANCE.
- BUILDER TO PROVIDE DOUBLE RAFTERS ON BOTH SIDES OF OPENING AT DORMER BREAK LOCATIONS AT DORMERS UP TO 10' IN WIDTH...TRIPLE RAFTERS ON SIDES OF OPENINGS UP TO 13' IN WIDTH, FOR OVER 13' WIDE DORMER OPENINGS, SEE EOR FOR GUIDANCE IF NOT INDICATED ON PLANS.



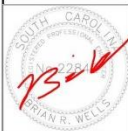
ROOF FRAMING PLAN
SCALE 1/4" = 1'



REVISIONS	DATE	NO.

SC LIC CERT OF AUTH
LIC #4424

SEAL



Brian R. Wells, PE, LLC
BRIAN R. WELLS, PE
501 Belle Hall Parkway, Unit 201
Mount Pleasant, SC 29464
843-514-1790 brian@wellsengineer.net

PROJECT
48 POPLAR ST.
DETACHED ACCESSORY BUILDING
CHARLESTON, SC

SHEET NO.

S3

DATE

4/22/2022

Windborne Debris Protection by Window/Door Panels
There are a number of proprietary solutions out there to meet the 2018 IRC requirements for windborne debris. It is the responsibility of the owner/builder to research those various options and ultimately determine which solution is the best for this residence.
The owner and Builder should consider ease of installation, ease of homeowner use, performance, contractor qualifications, contractor experience, price and other factors to determine which solution is the best for them.
Once a solution is determined, please submit the specifications and other information to the building department for their review and approval. Once it is approved, please submit the information to the Engineer of Record for his records.

RE: 48 Poplar Street – Proposed Accessory Building Project

For: BZA-Z Board of Architectural Review Meeting May 17, 2022

To Whom it May Concern,

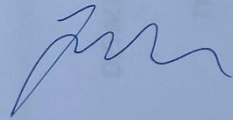
I, TOMAS JAKUBEK, residing at

63 MAPLE ST CHARLESTON SC 29403 have seen the building plans presented for

permitting at 48 Poplar Street, Charleston, SC 29403 for an Accessory Building and I am supportive of

this project.

Sincerely,

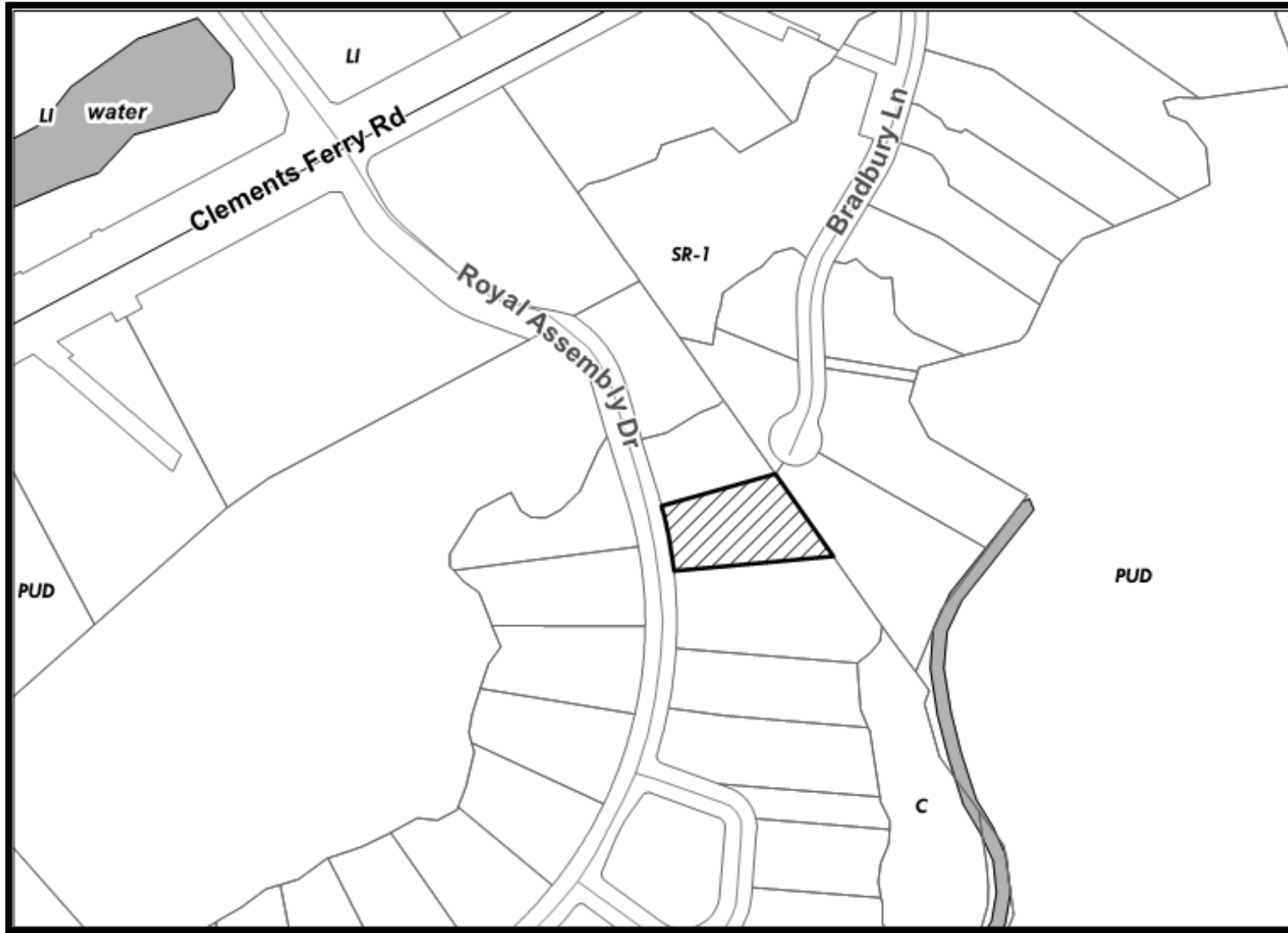
A handwritten signature in blue ink, appearing to read 'Tomas Jakubek', is written over the 'Sincerely,' line.

Agenda Item #B-3

107 ROYAL ASSEMBLY DRIVE
(BERESFORD HALL)
TMS #268-10-01-015

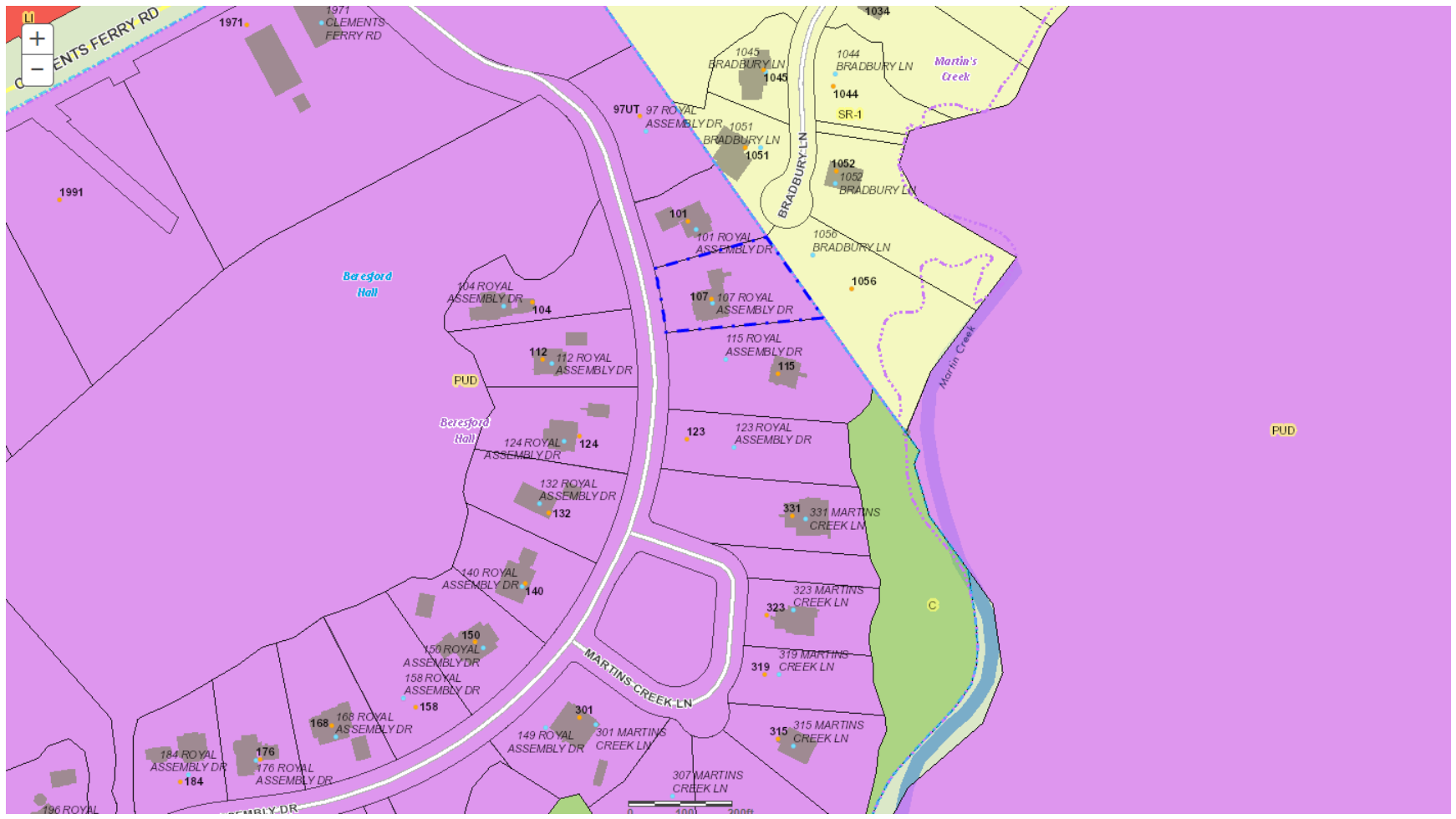
Request variance from Sec. 54-301 to allow an 8-ft. fence along rear property line (6-ft. height limitation).

Zoned PUD (Beresford Hall)





Royal Assembly Drive





Instructions – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: May 3, 2022

Property Address 107 Royal Assembly Drive Charleston, SC 29492 TMS # 268-10-01-015

Property Owner Roseann Drew & Lorelie Brown Daytime Phone 843-991-6446

Applicant Lorelie Brown Daytime Phone 843-991-6446

Applicant's Mailing Address 107 Royal Assembly Drive Charleston, SC 29492

E-mail Address loreliebrown@gmail.com

Relationship of applicant to owner (same, representative, prospective buyer, other) same

Zoning of property Residential

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)
☒ Check, credit card or cash (make checks payable to the City of Charleston)
☐ **YES** or ☐ **NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☒ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Lorelie Brown Date 04-15-22

For office use only

Date application received _____ Time application received _____
Staffperson _____ Fee \$ _____ Receipt # _____

BZA-Z Application (continued)

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Respectfully requesting an 8' privacy fence at the rear property line which separates our neighborhood, Beresford Hall, from the adjacent neighborhood, Martin's Creek behind our property. A new elevated home has been built in the lot behind our property and privacy is essential. Our neighborhood, Beresford Hall is gated and residents from Martin's Creek trespass into our neighborhood from the rear of our property. We find this a hardship on our lot and will impact its value without added height for privacy, comfort and security.

Please note that Beresford Hall has approved this 8' variance. Please see tax map notations and letter attached.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

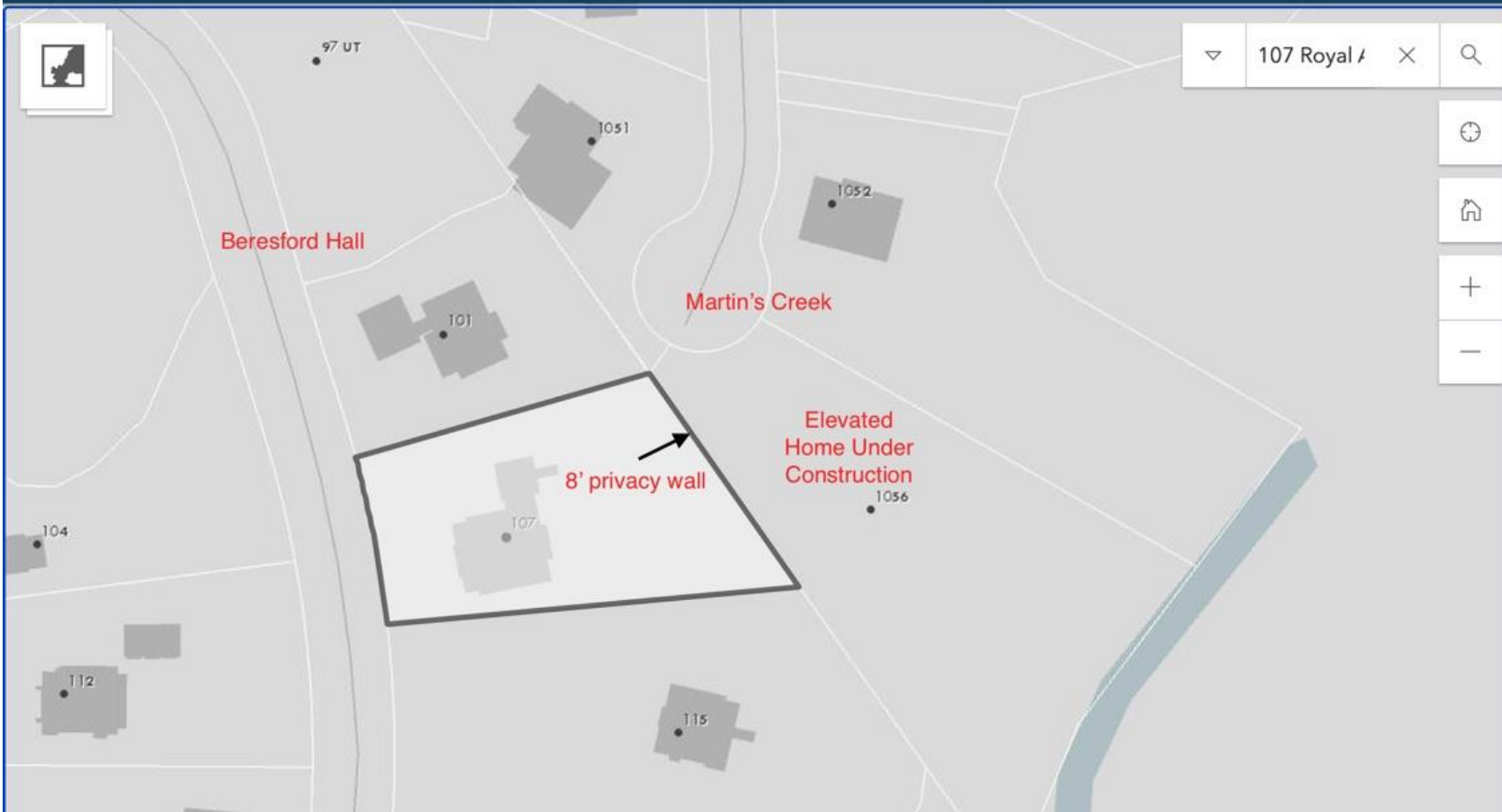
1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

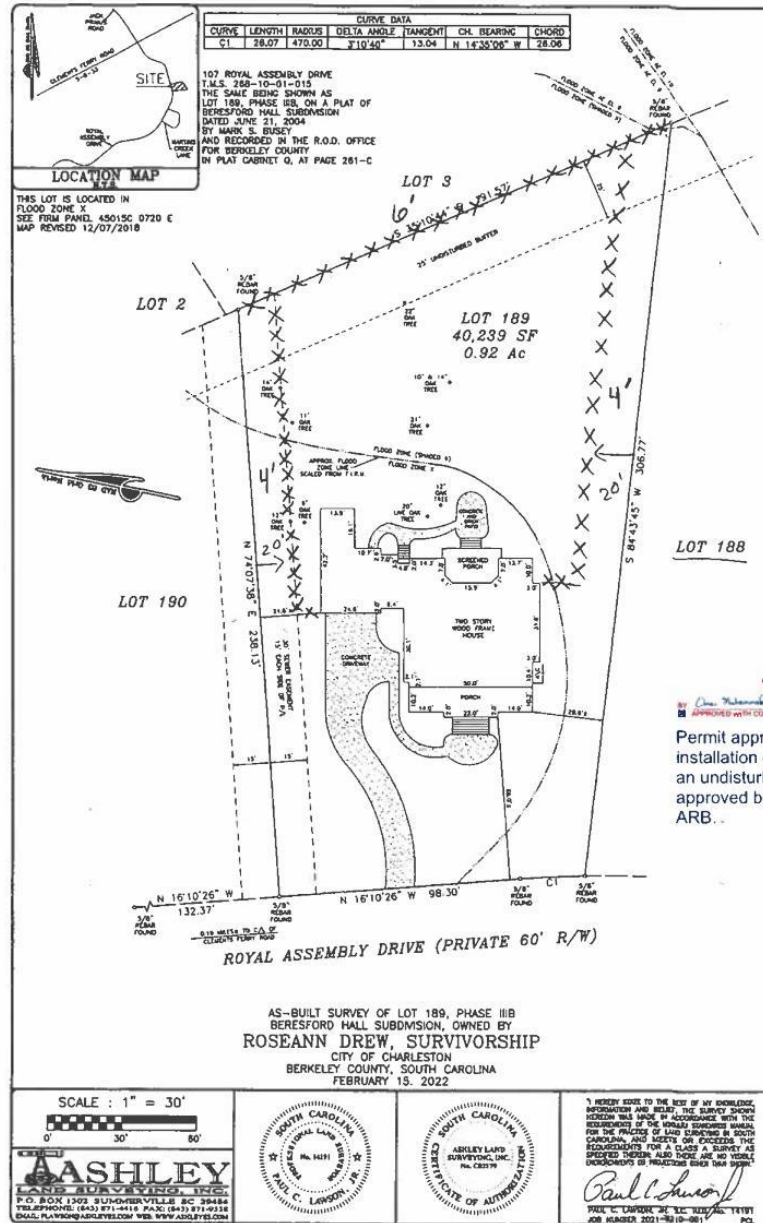
For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

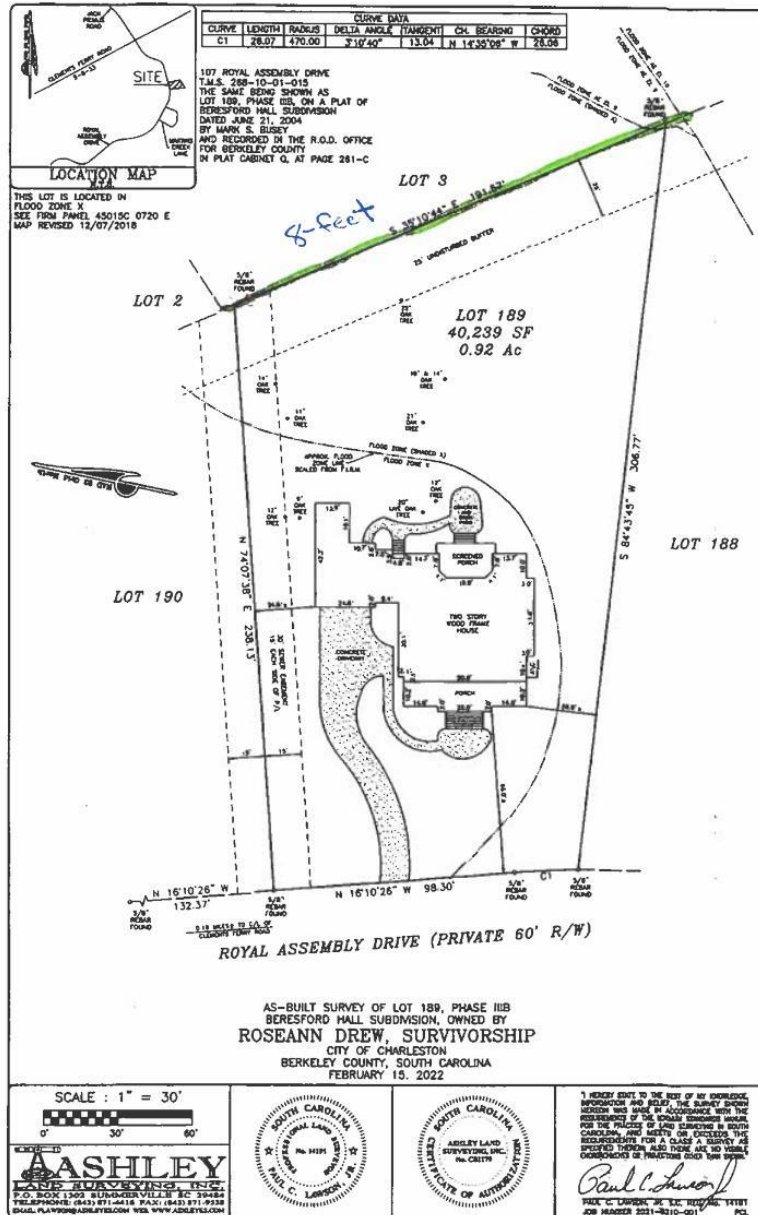
All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

Charleston Mapnet



X = Gate









From the Beresford Hall Assembly Design Review Board (DRB)

April 12, 2022

Omar Muhammade
Associate Zoning Planner
Permits & Zoning, City of Charleston
PO Box 22009
Charleston, SC 29413

SUBJECT: Coy & Lorelie Brown Fence

Dear Mr. Muhammade,

The Beresford Hall Assembly Design Review Board (DRB) hereby confirms that we approved the privacy fence at the rear of the lot for Coy and Lorelie Brown at 107 Royal Assembly Drive, Charleston, SC 29492. This approval includes granting a variance for the fence location at the rear property line instead of inside the 10' rear nature curtain and 15' rear setback. We also granted a variance for the 8' fence height.

The DRB appreciates any assistance you can provide the Browns. Should you have any questions, please feel free to contact me directly at bcwilms@aol.com or (248) 894-6085.

On behalf of the Beresford Hall Assembly Design Review Board,

Sincerely,

Blake Wilms
DRB Chairman

Please send mail DRB Correspondence to:

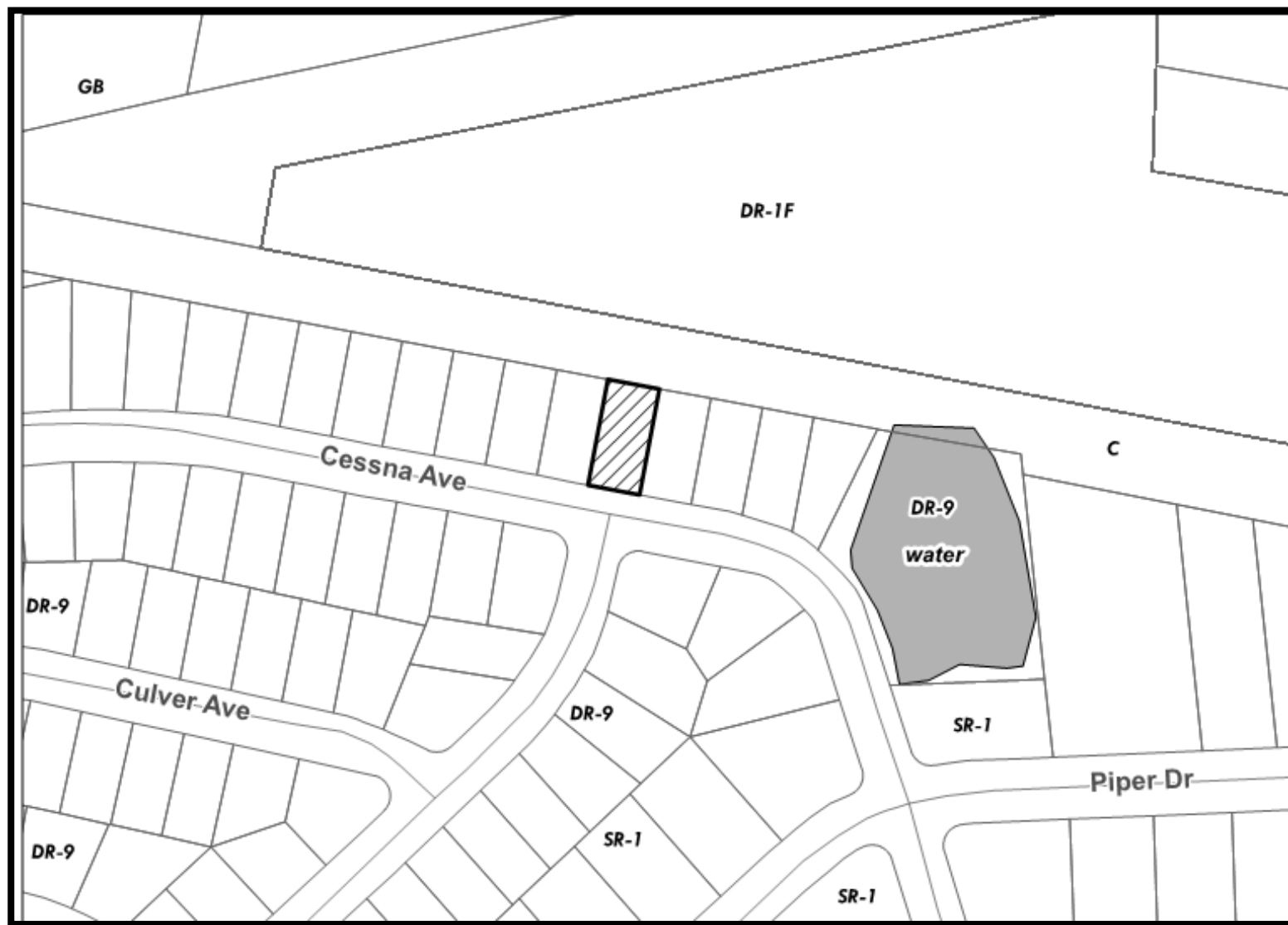
BHA DRB, c/o
Yohanna LaRoche
Community Association Manager
Sentry Management Inc
4401 Leeds Avenue Suite 120
North Charleston SC 29405
843-795-0190 Ext. 51701
843-795-0191 (fax)
charleston.sentrymgt.com

Agenda Item #B-4

462 CESSNA AVENUE
(CITADEL WOODS)
TMS # 350-09-00-192

Request variance from Sec. 54-301 to allow an 8-ft. fence along rear property line (6-ft. height limitation).

DR-9









Application for Variance, Special Exception, Reconsideration, or Extension
to the Board of Zoning Appeals – Zoning (BZA-Z)

Page 1 of 2

City of Charleston

Instructions – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: May 17, 2022
Property Address 462 Cessna Ave Charleston SC 29407 TMS # 350-09-00-192
Property Owner Michael & Misty Walsh Daytime Phone 843697 6410
Applicant Misty Walsh Daytime Phone 843697 6410
Applicant's Mailing Address 462 Cessna Ave Charleston SC 29407
E-mail Address MistyWalsh@gmail.com
Relationship of applicant to owner (same, representative, prospective buyer, other) same
Zoning of property residential

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)
☐ Check, credit card or cash (make checks payable to the City of Charleston)
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Misty Walsh **Date** 4/13/22

For office use only
Date application received _____ Fee \$ _____ Time application received _____
Staffperson _____ Receipt # _____

BZA-Z Application (continued)

Page 2 of 2

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

We are requesting a variance to add an 8foot fence only to the back of our property. Recently Dominion Energy removed all vegetation in the right of way behind our home. The Greenway is elevated allowing our entire yard and back of house to be seen as well as safety issues with our minor child playing outside being able to be seen.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

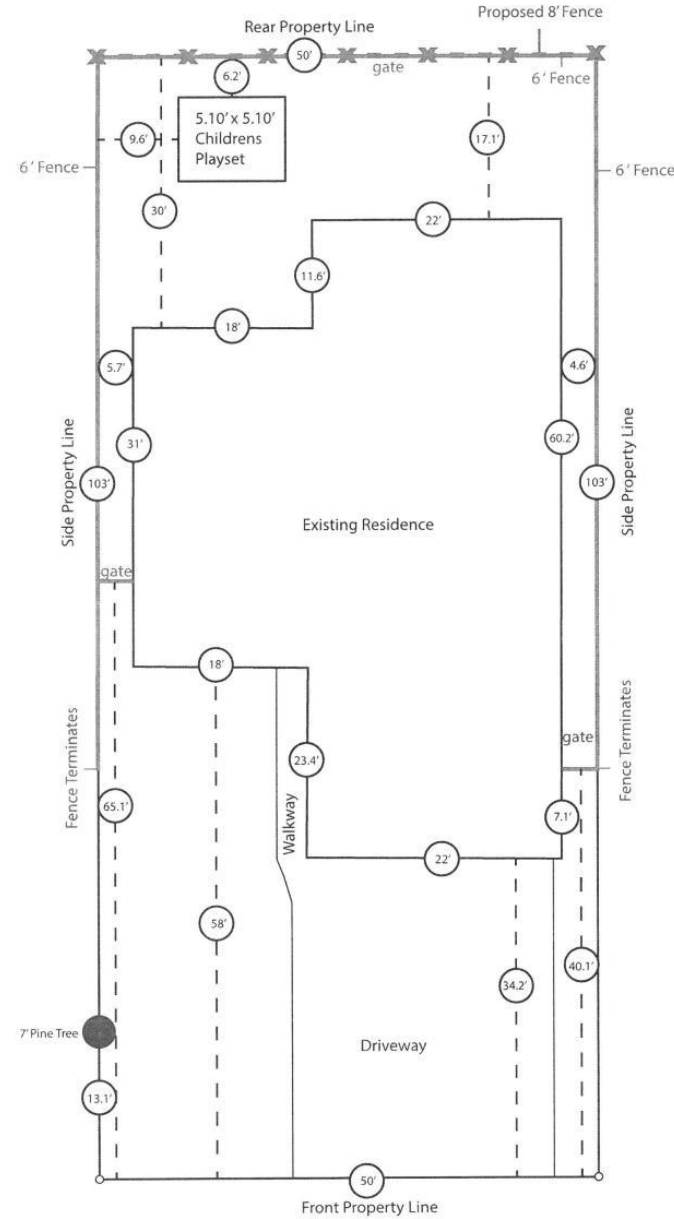
Department of Planning, Preservation & Sustainability 2 George Street Charleston, South Carolina 29401
(843) 724-3781 www.charleston-sc.gov/zoning

West Ashley Greenway

N
↑

TMS # **350-09-00-192**
PID 3500900192
Plat Book Page BY-145
Deed Book Page 0566-938
Address: 462 Cessna Avenue
Charleston, SC 29407
Owner: Misty and Michael Walsh
Neighborhood: 241607 NF07 Citadel Woods
As of April 17, 2022

0 6 12 feet



Cessna Ave



Photo taken from the West Ashley Greenway facing the rear of 462 Cessna Ave, direct view into child's bedroom window.



Photo showing corner of fence, and easy access to yard. Photo taken from the West Ashley Greenway facing the rear of 462 Cessna Ave.



Charleston Water Systems truck, back tires almost fully exposed on the West Ashley Greenway. Photo taken from back door.



Jogger and close-up, photo taken from back door.



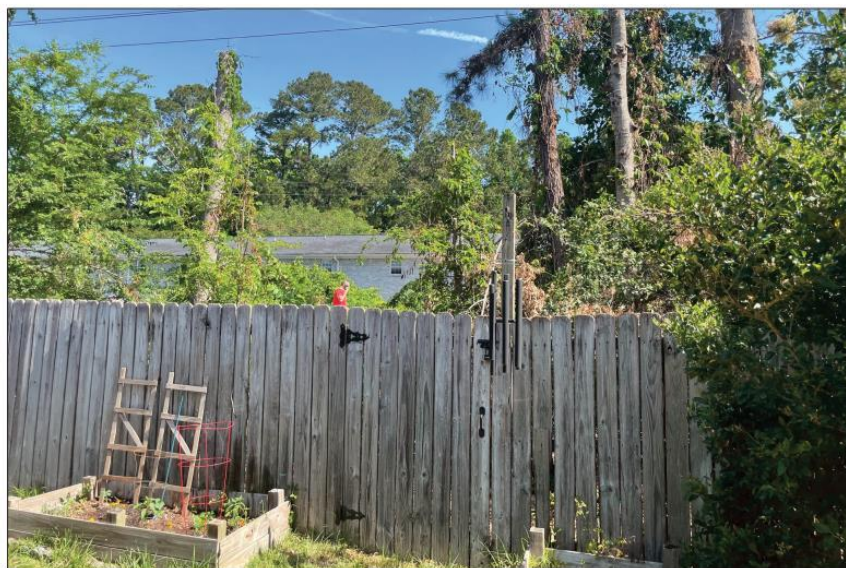
Person walking by, photo taken facing West Ashley Greenway.



Person riding a bike, photo taken standing in back yard by child's bedroom window facing West Ashley Greenway.



Person walking, photo taken in back yard by child's bedroom window, facing West Ashley Greenway.



Same person walking, photo taken in back yard by child's bedroom window, facing West Ashley Greenway.



Another vehicle. Photo taken from back yard facing the West Ashley Greenway, and standing by child's bedroom window.

Agenda Item #B-5

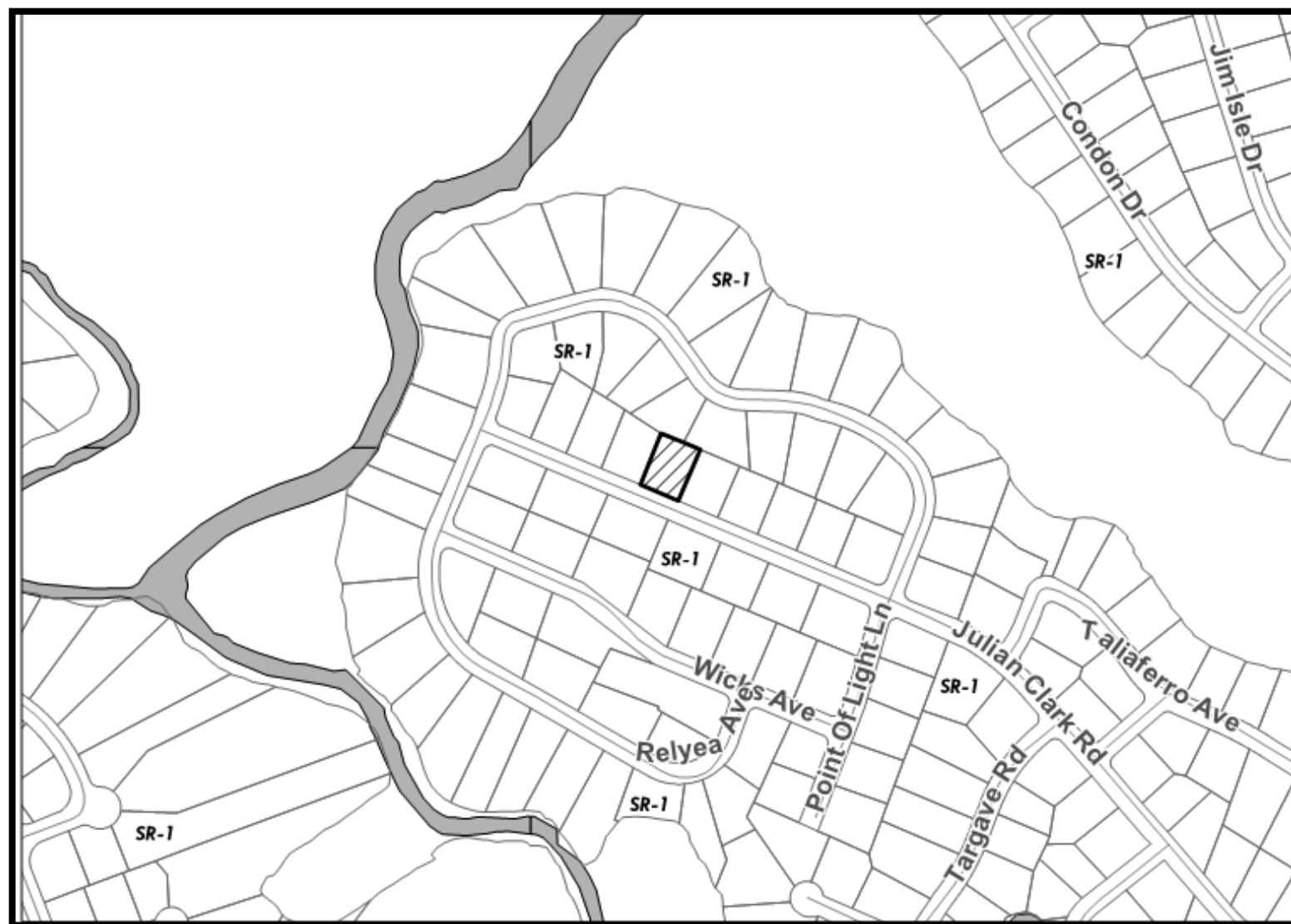
1316 JULIAN CLARK ROAD

(CLARKS POINT)

TMS # 426-05-00-016

Request variance from Sec. 54-301 to allow a 2-story detached accessory building with a 3-ft. west side setback and 3-ft. rear setback (9-ft. and 25-ft. required).

Zoned SR-1





North Relyea Avenue

Julian Clark Road

Wicks Avenue





City of Charleston

Instructions – Submit this application, along with the required information and fee, to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: 5/17/2022

Property Address 1316 Julian Clark Road, Charleston, SC 29412 TMS # C4260500016

Property Owner Carter and Suzanne Bagley Daytime Phone 901.229.2289

Applicant Carter Bagley Daytime Phone 901.229.2289

Applicant's Mailing Address 1316 Julian Clark Road, Charleston, SC 29412

E-mail Address bagleycarter@gmail.com

Relationship of applicant to owner (same, representative, prospective buyer, other) same

Zoning of property SR-1

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
☒ Plans or documents necessary to show compliance with special exception requirements (3 sets)
☒ Check, credit card or cash (make checks payable to the City of Charleston)
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☒ Letters or petitions from neighbors or organizations directly affected by your request

certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Carter Bagley Date 4/18/22

For office use only
Date application received _____ Time application received _____
Staffperson _____ Fee \$ _____ Receipt # _____

BZA-Z Application (continued)

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

See attached.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. {SC Code of Laws § 6-29-800}

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

Variance Test

1. The extraordinary and exceptional conditions pertaining to the particular piece of property are related to have a grand tree, septic field in the backyard, and floodzone. Also, there is an existing storage structure that is already encroaching into the setback and therefore the reason for the variance needed. Moving the structure could cause damage to the grand tree. The existing septic field push the proposed structure to where the setback requirements could not be met. The grand tree needs to be protected and any structures should be avoided in this area. Therefore, a rear and side setback variance to allow 3 ft is requested. Also, due to the flood elevation of 11 and the existing ground being elevation 8, I request a height variance due to this hardship. The estimated height of the attach is 21.5 ft tall and needs to be 5.5 ft above the floodplain due to the water being provided to the structure. This would put the top elevation at 27 ft.
2. Many other properties in the vicinity already have more than one structure that is within the required setbacks and therefore the conditions don't apply. Also, many houses do not have a pool. So with the pool, grand tree, and septic field in the back yard, there is limited space to build another structure which is not the case with other properties.
3. These conditions unreasonably restrict the utilization of the property.
4. The authorization of the variance will not be of substantial detriment to adjacent properties or to the public good. Also, the character of the district will not be harmed by the granting of the variance. I have contacted my adjacent property owners and others and have only received support from them.



City of Charleston

PROPERTY LOCATION, TMS NUMBER(S) AND DESCRIPTION OF REQUEST(S)

1316 JULIAN CLARK RD. (CLARKS POINT) (426-05-00-016)

Request variance from Sec. 54-301 to allow a detached accessory building with a 3-ft. west side and 3-ft. rear setback (9-ft. and 25-ft. required).

Request variance from Sec. 54-301 to allow a hvac platform with a 3- west side setback and 20-ft. rear setback (9-ft. and 25-ft. required).

Zoned SR-1

Order on Special Exception Request

The Board of Zoning Appeals-Zoning held a public hearing to consider the above appeal for a special exception which may be permitted by the Board pursuant to the Zoning Ordinance for the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of fact and conclusions.

☐ **DENIED.** The Board concludes that the standards in the Section(s) of the Zoning Ordinance listed above, which are applicable to the requested special exception(s), have not been met and therefore orders that the special exception(s) be denied.

☐ **APPROVED.** The Board concludes that the standards in the Section(s) of the Zoning Ordinance listed above, which are applicable to the requested special exception(s), have been met and therefore orders that the special exception(s) be granted, subject to the following conditions, if any: _____

Date issued: _____ Chairman _____

Order on Variance Request

The Board of Zoning Appeals-Zoning held a public hearing to consider an appeal for a variance from the strict application of the Zoning Ordinance for the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of facts and conclusions.

☐ **DENIED.** The Board concludes that the requirements for granting a variance have not been met and, therefore, orders that the variance be denied.

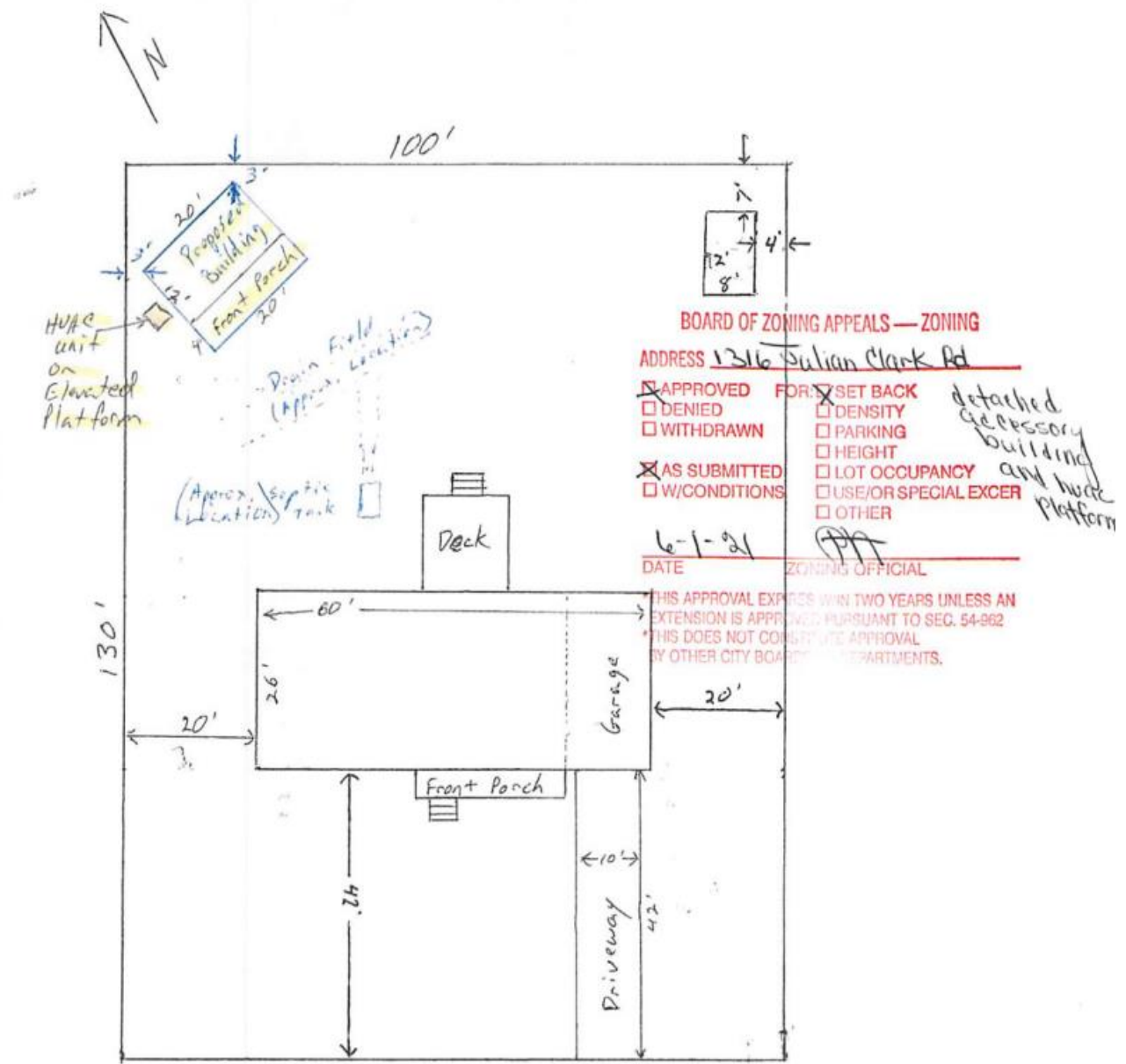
☒ **APPROVED.** The Board concludes that:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. Authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

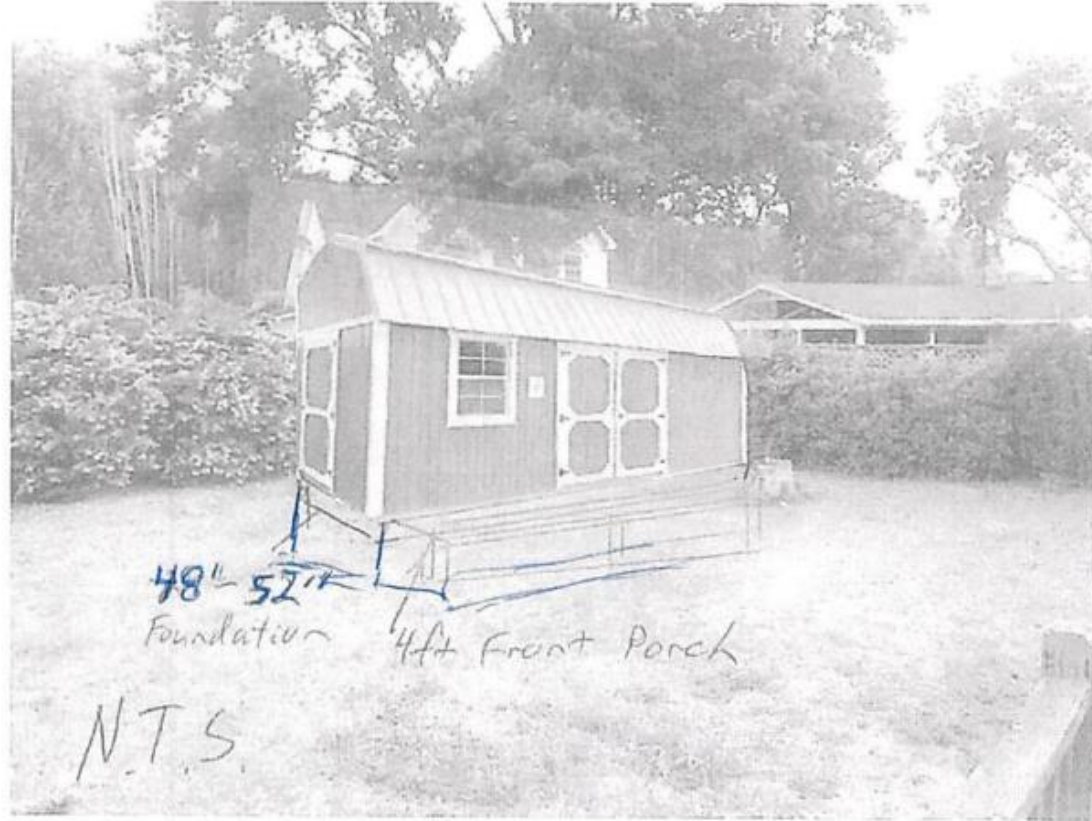
THE BOARD, THEREFORE, finds that the applicant has an unnecessary hardship and orders that the variance be granted, subject to the following conditions, if any: _____

Date issued: 6/1/21 Chairman Michael C. Simon

Approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Section 54-962. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.



1316 Julian Clark Rd.



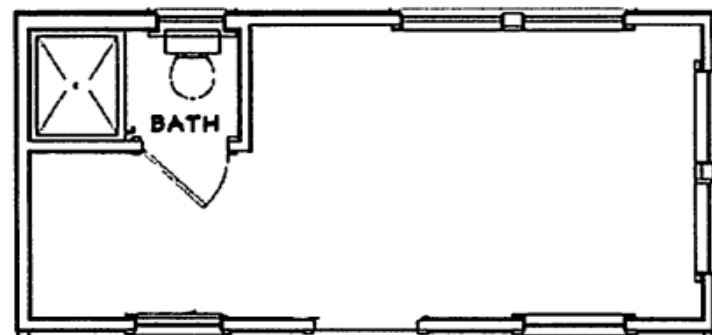
48" - 52"

Foundation

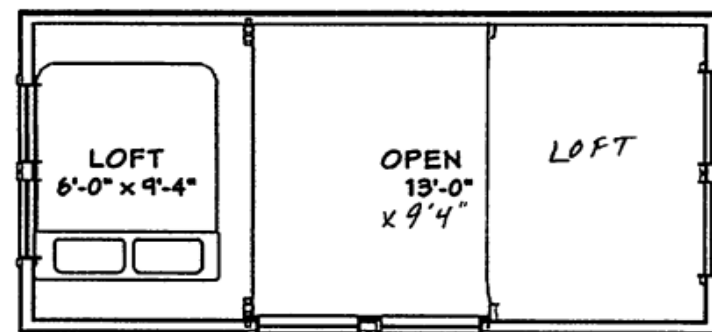
4ft Front Porch

N.T.S.

1st Floor



Lofts



12x20 Side Lofted Barn

Dimensions: 12×20

Description: Features Galvalume metal roof, 72" double wood doors, (2) 48" wood doors, (2) 6' lofts, (2) 2×3 windows, 16" OC walls and floor joists, radiant barrier upgrade, Driftwood Urethane finish, 150 MPH wind rated

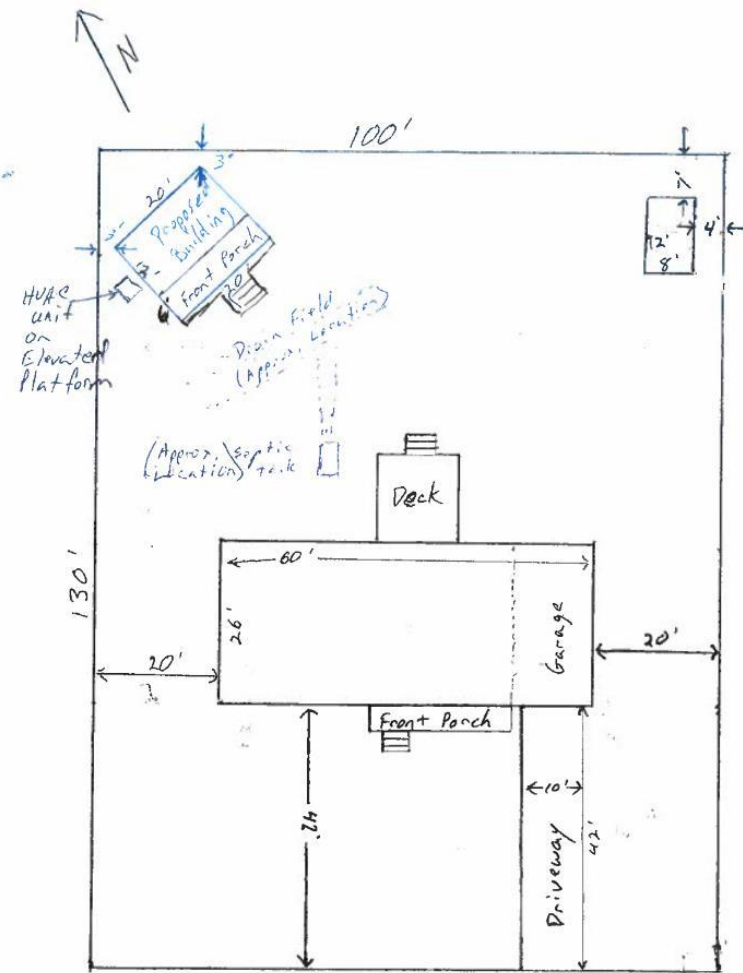






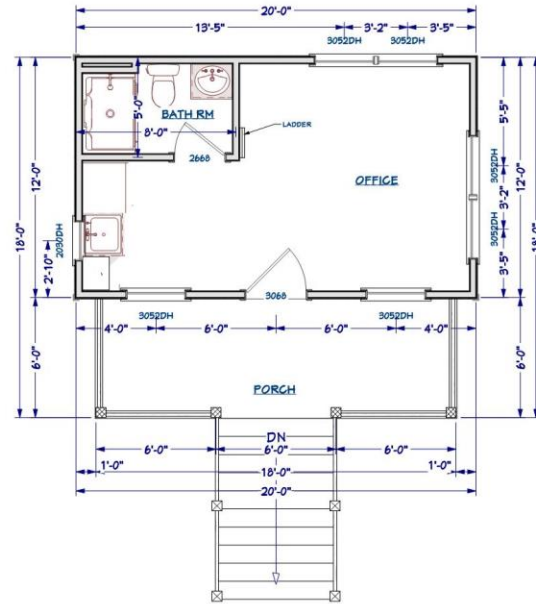






0 10 20 30 40
20 scale

1316 Julian Clark Rd.
Charleston, SC 29412
Owners: Carter & Suzanne Bagley

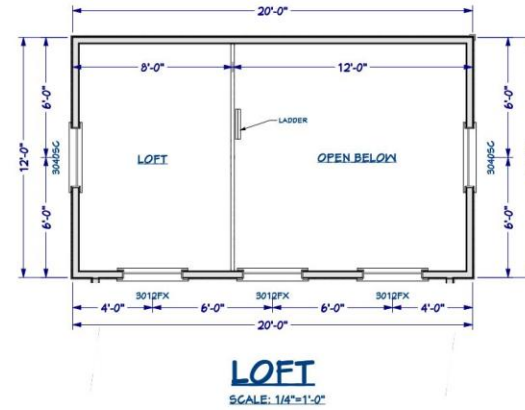


FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE: ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO COOK DESIGN STUDIO INC. FOR JUSTIFICATION AND/OR CORRECTIONS. BUILDER/HOMEOWNER SHALL ASSUME LIABILITY FOR ERRORS THAT ARE NOT REPORTED. THE INFORMATION CONTAINED IN THESE PLANS ARE LIMITED TO THE OBSERVATION OF THE INFORMATION AND CONDITIONS AS PROVIDED BY YOU THE HOME OWNER. COOK DESIGN STUDIO INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS IN WHOLE OR PART.

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawings. Cook Design Studio Inc. is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

Homeowner will take the necessary precautions to remove or relocate items of value to be reused and/or saved, or in any danger or being damaged due to construction process. Contractor shall verify all dimensions and conditions on site before construction begins. Any discrepancies shall be reported to Cook Design Studio Inc. for corrections before proceeding with construction. Contractor and/or owner shall assume responsibility for errors that are not reported.



LOFT
SCALE: 1/4"=1'-0"

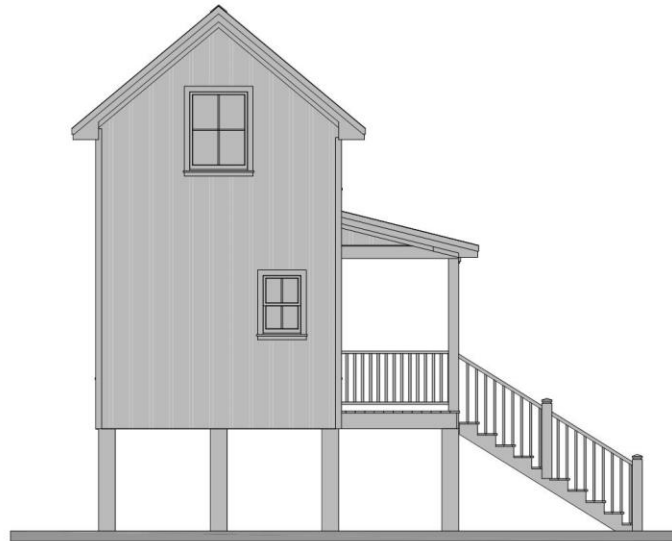
PRELIMINARY DRAWINGS ONLY
THESE DRAWINGS ARE FOR REVIEW ONLY
NOT FOR USE IN CONSTRUCTION

<p>THIS PLAN IS THE PROPERTY OF COOK DESIGN STUDIO INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF COOK DESIGN STUDIO INC. THE MAKER ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS IN WHOLE OR PART.</p>	
REVISIONS	
NO.	DATE
<p>COOK DESIGN STUDIO, INC.</p>  <p>111 East 1st Street, Suite 100 • Charleston, SC 29401 803-799-1000 • Fax: 803-799-1001 111 East 1st Street, Suite 100 • Charleston, SC 29401 803-799-1000 • Fax: 803-799-1001</p>	
<p>MEMBER</p>  <p>AMERICAN INSTITUTE OF BUILDING DESIGN</p>	
<p>PREPARED FOR:</p> <p>Carter Bagley 1316 Julian Clark Road Charleston, SC 29412</p>	
DATE:	10-22-2021
SCALE:	GIVEN
DESIGNED BY:	BSC
CHECKED BY:	MAP
JOB #:	4472-362-2021
<p>A1 SHEETS</p>	

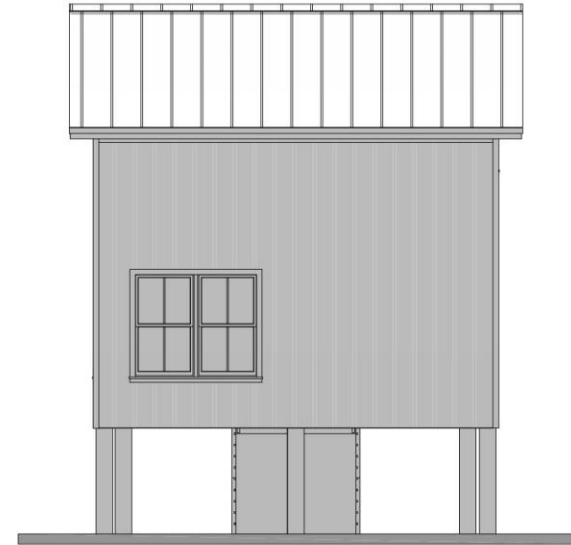


FRONT ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION



REAR ELEVATION



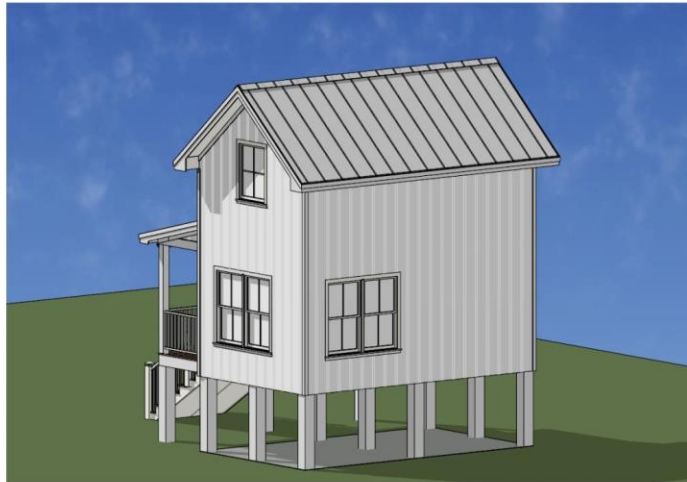
RIGHT ELEVATION

PRELIMINARY DRAWINGS ONLY
THESE DRAWINGS ARE FOR REVIEW ONLY
NOT FOR USE IN CONSTRUCTION

<p>THIS DRAWING IS THE PROPERTY OF COOK DESIGN STUDIO, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY NOTED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF COOK DESIGN STUDIO, LLC. THE USER OF THIS DRAWING AGREES TO INDEMNIFY AND HOLD COOK DESIGN STUDIO, LLC HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY COOK DESIGN STUDIO, LLC, OR ITS EMPLOYEES, AGENTS, OR SUBCONTRACTORS, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DRAWING.</p>	
REVISIONS	
NO.	DATE
<p>COOK DESIGN STUDIO, LLC</p>  <p>121 East 14th Street, Suite 100 • Charleston, SC 29403 803.443.1000 • 803.443.1001 101 East 14th Street, Suite 100 • Greenville, SC 29601</p>	
<p>MEMBER</p>  <p>AMERICAN INSTITUTE of BUILDING DESIGN</p>	
<p>PREPARED FOR:</p> <p>Carter Bagley 1316 Julian Clark Road Charleston, SC 29412</p>	
DATE:	10-22-2021
SCALE:	1/4" = 1'-0"
DESIGNED BY: BSG	CHECKED BY: MAP
JOB #: 4972-382-2021	
<p>A2</p> <p>SHEETS</p>	



3D FRONT ELEVATION



3D REAR ELEVATION

PRELIMINARY DRAWINGS ONLY
THESE DRAWINGS ARE FOR REVIEW ONLY
NOT FOR USE IN CONSTRUCTION

THIS PLAN IS THE PROPERTY OF COOK DESIGN STUDIO, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY NOTED THEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF COOK DESIGN STUDIO, LLC. THE USER OF THIS PLAN IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND REGULATIONS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. COOK DESIGN STUDIO, LLC. MAKES NO WARRANTY, REPRESENTATION, OR GUARANTEE, EXPRESS OR IMPLIED, AS TO THE ACCURACY, COMPLETENESS, OR SUITABILITY OF THIS PLAN FOR ANY PARTICULAR PURPOSE OR USE. CONTRACTORS SHOULD CHECK ALL DIMENSIONS PRIOR TO CONSTRUCTION.

NO.	DATE	REVISIONS

COOK DESIGN STUDIO, LLC



121 East 14th Street, Suite 100 • Charleston, SC 29401
803 East 14th Street, Suite 100 • Savannah, SC 29901

MEMBER
A I B D
AMERICAN INSTITUTE of
BUILDING DESIGN

PREPARED FOR:
**Carter Bagley
1316 Julian Clark
Road
Charleston, SC 29412**

DATE: 10-22-2021

SCALE: 1/4"=1'-0"

DESIGNED BY: BSG CHECKED BY: MAP

JOB #: 4972-382-2021

A3
SHEETS

Date:

City of Charleston

Zoning Division

2 George St.

Charleston, SC 29401

To Whom it May Concern:

This letter should stand as our approval for Carter and Suzanne Bagley, 1316 Julian Clark Road, Charleston, SC, to have a new building installed at this address in accordance with the plans they provided to me and submitted to the City. We have discussed the plan with Carter and have no objection to this.

I am a current homeowner and neighbor.

Please accept this as my approval for the new building

Sincerely,

John Schettino

1310 Julian Clark Rd.

Date: 5/28/21

City of Charleston

Zoning Division

2 George St.

Charleston, SC 29401

To Whom it May Concern:

This letter should stand as our approval for Carter and Suzanne Bagley, 1316 Julian Clark Road, Charleston, SC, to have a new building installed at this address in accordance with the plans they provided to me and submitted to the City. We have discussed the plan with Carter and have no objection to this.

I am a current homeowner and neighbor.

Please accept this as my approval for the new building

Sincerely,

Chris Steffel

1333 Julian Clark Rd.

Date: May 30, 2021

City of Charleston

Zoning Division

2 George St.

Charleston, SC 29401

To Whom it May Concern:

This letter should stand as our approval for Carter and Suzanne Bagley, 1316 Julian Clark Road, Charleston, SC, to have a new building installed at this address in accordance with the plans they provided to me and submitted to the City. We have discussed the plan with Carter and have no objection to this.

I am a current homeowner and neighbor.

Please accept this as my approval for the new building

Sincerely,

Mr. & Mrs. Dan Pothier

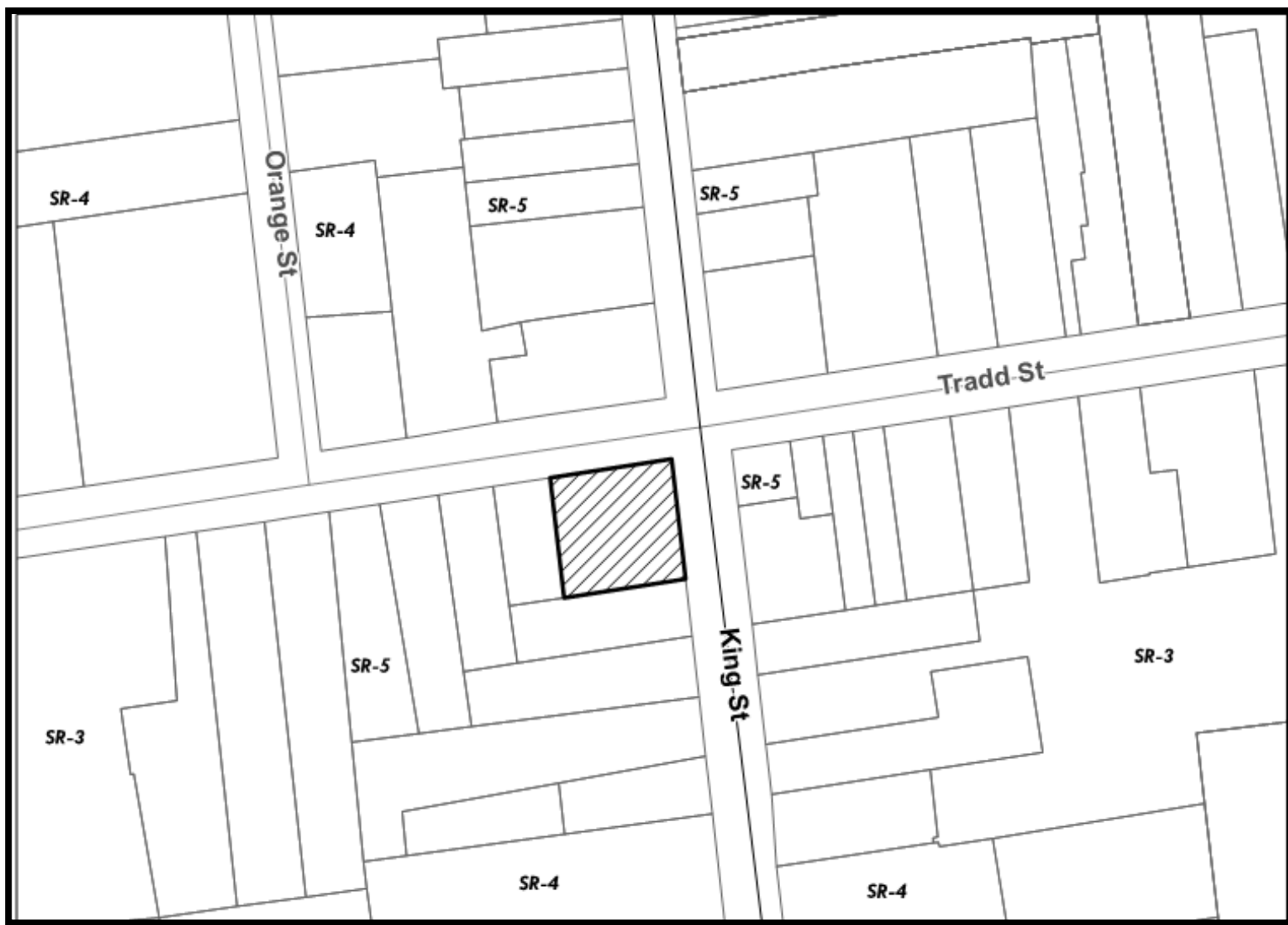
*1444 Relyea Ave
Charleston, SC
29412*

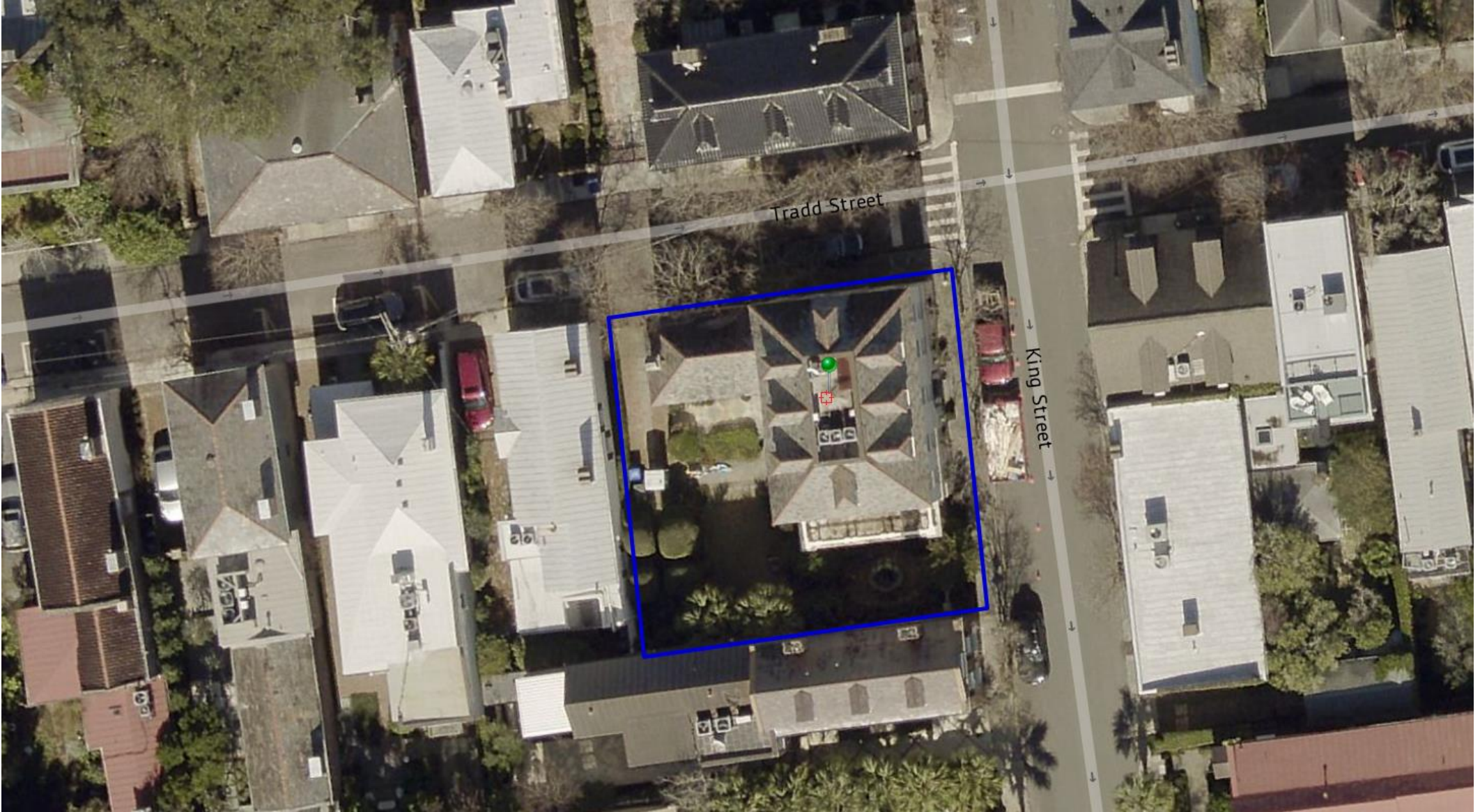
Agenda Item #B-6

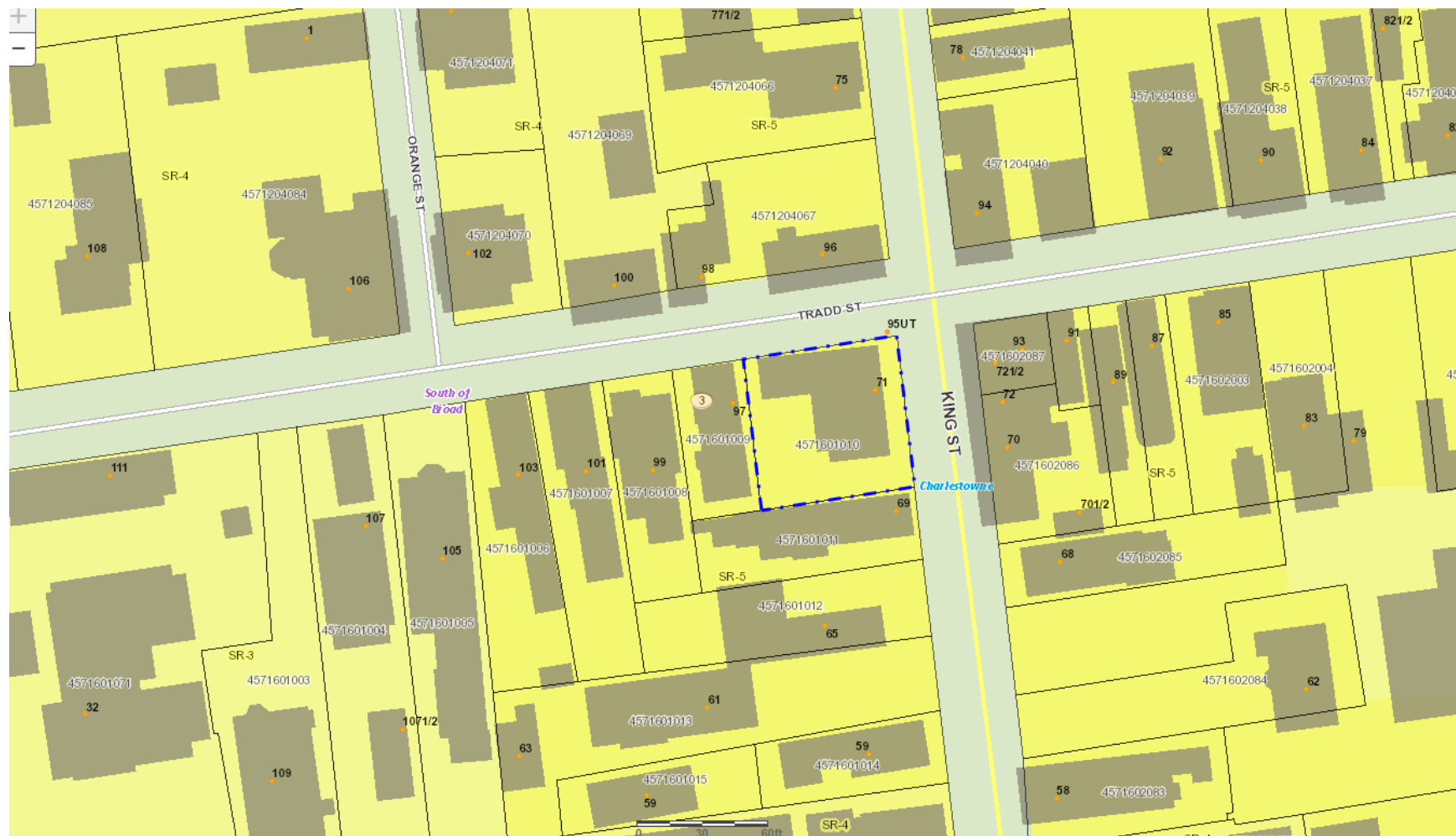
71 KING STREET
(CHARLESTOWNE)
TMS # 457-16-01-010

Request variance from Sec. 54-301 to allow a 1-story covered patio addition with a 48% lot occupancy (35% limitation; existing lot occupancy 44%).

Zoned SR-5









Instructions – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: May 17, 2022

Property Address 71 King St, Charleston, SC 29401 TMS # 4571601010

Property Owner Gerrit Nicholas Daytime Phone 646-509-4610

Applicant Julie Keyes, Fortress Architecture Studio Daytime Phone 864-420-0378

Applicant's Mailing Address 3596 Berryhill Road, Johns Island SC 29455

E-mail Address julie@fortressarchitecture.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Architect

Zoning of property SR-5

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)
☒ Check, credit card or cash (make checks payable to the City of Charleston)
☐ **YES or** ☒ **NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Julie Keyes Date 4/18/22

For office use only	
Date application received _____	Time application received _____
Staffperson _____	Receipt # _____
Fee \$ _____	

BZA-Z Application (continued)

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

See the attached letter.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

Variance Test

1. There are extraordinary & exceptional conditions pertaining to the property

The increase in lot coverage request is to add a roof over an existing raised patio. The existing patio is 27" above the existing adjacent grade and therefore not currently included in the lot coverage. Also, there is currently no covered outdoor space for the house.

2. These conditions do not generally apply to other properties in the vicinity

The "L" shaped house on the corner lot creates conditions that are unique from the other houses in the area.

3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property

The house does not have any covered outdoor space for the courtyard. The facade is south-facing and the roof would provide solar protection and energy savings. The net increase in lot coverage is less than 200 square feet, but it has no further soil disturbance.

4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance

The new construction will have no impact on surrounding properties. It is at the back of the house and will be minimally visible from the public right of way. The additional lot coverage does not encroach into any setback. The owners will provide the neighbors at 97 Tradd St. and 69 King St. with a copy of the application and ask for letters of support.



PHOTOS OF INTACT EXISTING
RAISED PATIO PRIOR TO
TEMPORARILY REMOVING THE
SLAB FOR SOIL REMEDIATION



PHOTO OF EXISTING RAISED PATIO
(SLAB TEMPORARILY REMOVED FOR SOIL REMEDIATION)

FULL SCALE WHEN PRINTED ON 24" X 36" PAPER. HALF SCALE WHEN PRINTED ON 11" X 17"

*VERIFY ALL DIMENSIONS IN FIELD BEFORE CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES

	
<p>NICHOLAS RESIDENCE</p>	
<p>PHOTOS- 71 KING ST</p>	
<p>NO. REVISIONS</p>	<p>DATE</p>
<p>PROJECT # 2206</p>	
<p>DATE 4/18/22</p>	
<p>SHEET # A201</p>	



Thomas & Susan
Ovdracci
TMS 458-13-01-052
Reference Plat Book EA Page 977

SURVEY NOTES

1. Reference Tax Map Number 458-13-01-054
Tax Map Number 458-13-01-124
2. Reference Plat Book EA Page 119
3. Survey requested by: George Molinos
4. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
5. This lot has been checked against area FEMA maps and to the best of this surveyor's knowledge, said lot is located in Flood Zone X Ref. Map No. 4509C0518 J dated 11-17-2004. It is the responsibility of the owner and/or builder to verify the flood zone with the governing municipality prior to design and construction.

- LEGEND
- o 5/8" Iron Rod New
 - 5/8" Iron Rod Old
 - 1" Iron Pipe Old
 - ≡ "X" Mark
 - Light Pole
 - ▲ Building Corner
 - Brick

LINE	BEARING	DISTANCE
1.1	S 02°45'28"W	2.40'
1.2	S 04°53'09"E	1.70'
1.3	S 89°30'55"E	2.85'
1.4	N 89°30'55"W	12.65'
1.5	N 89°30'55"W	14.81'
1.6	N 87°51'29"W	16.62'

LONGITUDE LANE
(R/W Varies)

LOT 69B
0.057 Acre
2501 Sq. Ft.
(TMS 458-13-01-124)

LOT 69A
0.085 Acre
3711 Sq. Ft.
(TMS 458-13-01-054)

Robert & Margaret
TMS 458-13-01-053
Reference Plat Book EA Page 426

EAST BAY STREET (69.5' R/W)

BOUNDARY SURVEY OF 69 EAST BAY STREET
LOCATED
CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA

SURVEYOR'S STATEMENT

I hereby state that to the best of my knowledge, information, and belief, the survey shown herein was made in accordance with the requirements of the Minimum Standards for the Surveying Profession, and that the surveyor is not aware of any facts that would cause the survey to be considered a Class A Survey as specified in the South Carolina Code of Laws, Title 46, Chapter 1, Section 46-1-10, and that there are no visible encroachments or projections other than shown.

By: James G. Pennington Date: 4/9/22
James G. Pennington, P.L.S. No. 10291



2851 Ashley River Road
Charleston, SC 29414
Phone (843) 571-5191
Email: PalmettoLandSurveying@gmail.com

PREPARED EXCLUSIVELY FOR:
George Molinos

NO.	REVISION DESCRIPTION	DATE	BY
1	Revised front distance	4/19/22	JGP

FIELD SURVEY DATE: 19 March 2015	FIELD SURVEY BY: JGP/TJ	CLIENT PROJECT NO.: 7149
DRAWING DATE: 21 March 2015	DRAWN BY: JGP	DRAWING NO.: 7149REV



GRAPHIC SCALE: 1"=10'

SHEET
OF
1

FULL SCALE WHEN PRINTED ON 24" X 36" PAPER. HALF SCALE WHEN PRINTED ON 11" X 17"

71 KING ST., CHARLESTON SC 29401
TMS # 4571601010

ZONED: SR-5

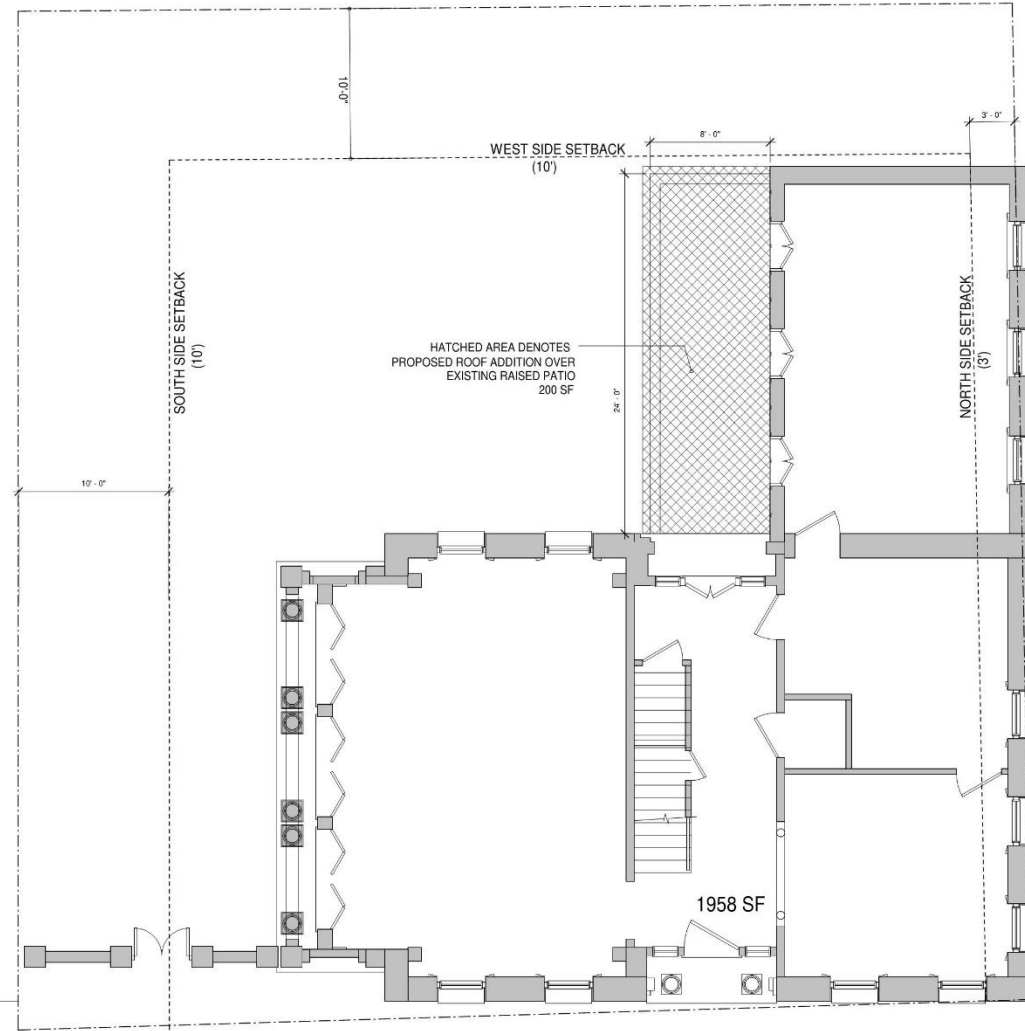
LOT AREA	4,501 SF
ALLOWABLE LOT COVERAGE	35%
EXISTING SF	1,958 SF
EXISTING LOT COVERAGE	43.5%
PROPOSED SF	200 SF
PROPOSED TOTAL SF	2,158 SF
PROPOSED LOT COVERAGE	48%

Lot Occupancy of a Building. The horizontal area measured within the outside of the exterior walls or foundations of a building (see definition of "building"), except that appendages to buildings such as stairs and elevated stoops, porches, terraces and decks, that are not covered and are not elevated more than three feet above grade, shall not be included for the purpose of calculating lot occupancy of a building.

1

PROPOSED SITE PLAN
SCALE: 1/4" = 1'-0"

4,501 SF



**NICHOLAS
RESIDENCE**
71 King St., Charleston, SC

SITE PLAN

NO. REVISIONS	DATE
PROJECT #	2206
DATE	4/18/22
SHEET #	A101

*VERIFY ALL DIMENSIONS IN FIELD BEFORE CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES

FULL SCALE WHEN PRINTED ON 24" X 36" PAPER. HALF SCALE WHEN PRINTED ON 11" X 17"



1 | EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 | PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



FORTRESS
ARCHITECTURE STUDIO
and interior design

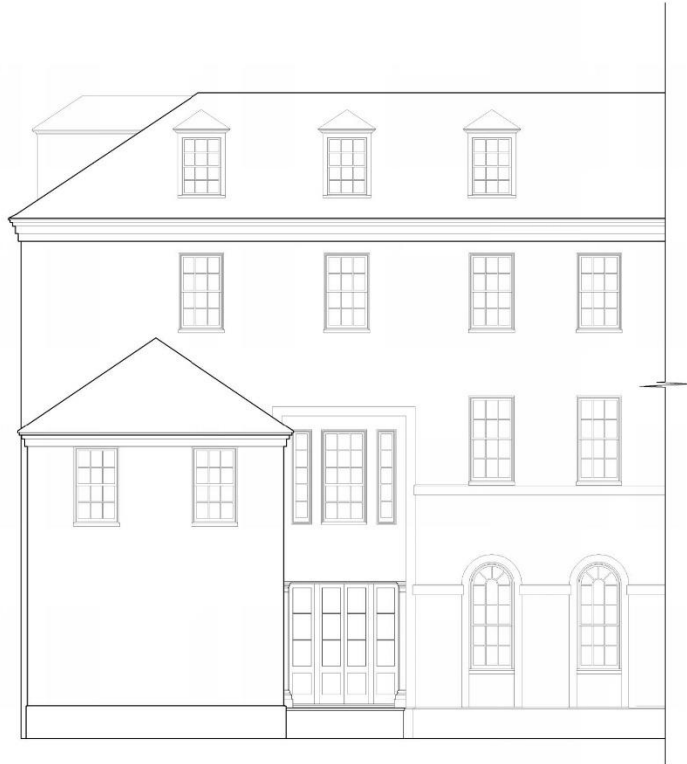
**NICHOLAS
RESIDENCE**
71 King St., Charleston, SC

ELEVATIONS

NO.	REVISIONS	DATE
PROJECT #	2206	
DATE	4/18/22	
SHEET #	A202	

*VERIFY ALL DIMENSIONS IN FIELD BEFORE CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES

FULL SCALE WHEN PRINTED ON 24" X 36" PAPER. HALF SCALE WHEN PRINTED ON 11" X 17"



1 | EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 | PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



FORTRESS
ARCHITECTURE STUDIO
and interior design

**NICHOLAS
RESIDENCE**
71 King St., Charleston, SC

ELEVATIONS

NO.	REVISIONS	DATE

PROJECT # **2206**

DATE 4/18/22

SHEET # **A203**

*VERIFY ALL DIMENSIONS IN FIELD BEFORE CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES

Ashby, Pennye

From: Julie Keyes <julie@fortressarchitecture.com>
Sent: Tuesday, April 19, 2022 5:35 PM
To: Ashby, Pennye
Subject: Fwd: 71 King St. BZA Zoning Application

CAUTION: This email originated outside of the City of Charleston. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Pennye,

We were unable to include this in the submittal deadline yesterday, but we did confirm that we have support from the affected neighbors at 71 King St for our proposed covered patio. This includes 97 Tradd and 69 King St.

Thanks,
Julie

----- Forwarded message -----

From: Gerrit Nicholas <gerrit.nicholas@gmail.com>
Date: Tue, Apr 19, 2022 at 5:10 PM
Subject: Re: 71 King St. BZA Zoning Application
To: Julie Keyes <julie@fortressarchitecture.com>
Cc: Alexandra Nicholas <mycasacharleston@gmail.com>

I have now spoken to the folks at 97 Tradd and at 69 King and both parties are very supportive of our new covered patio.

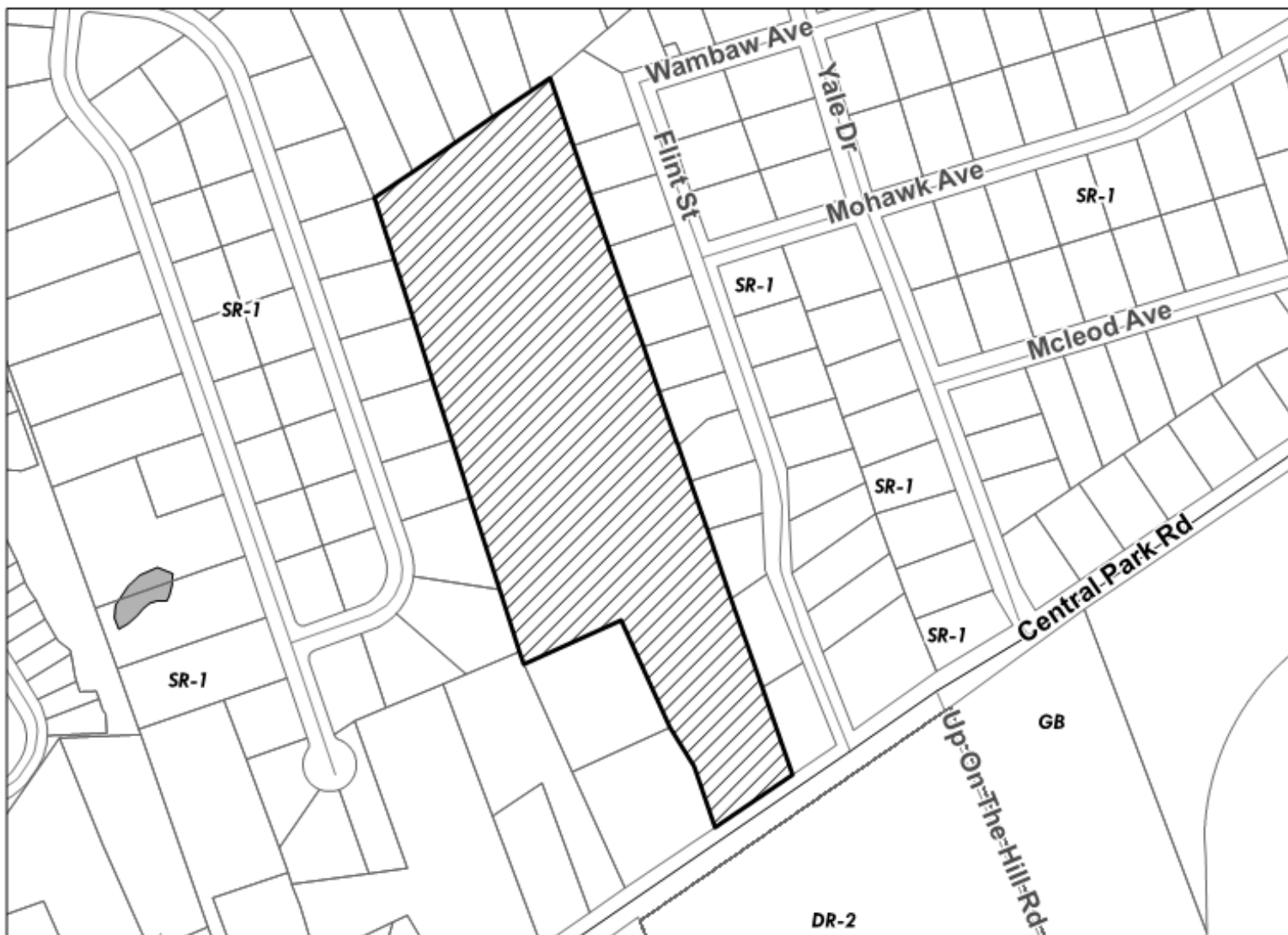
Agenda Item #B-7

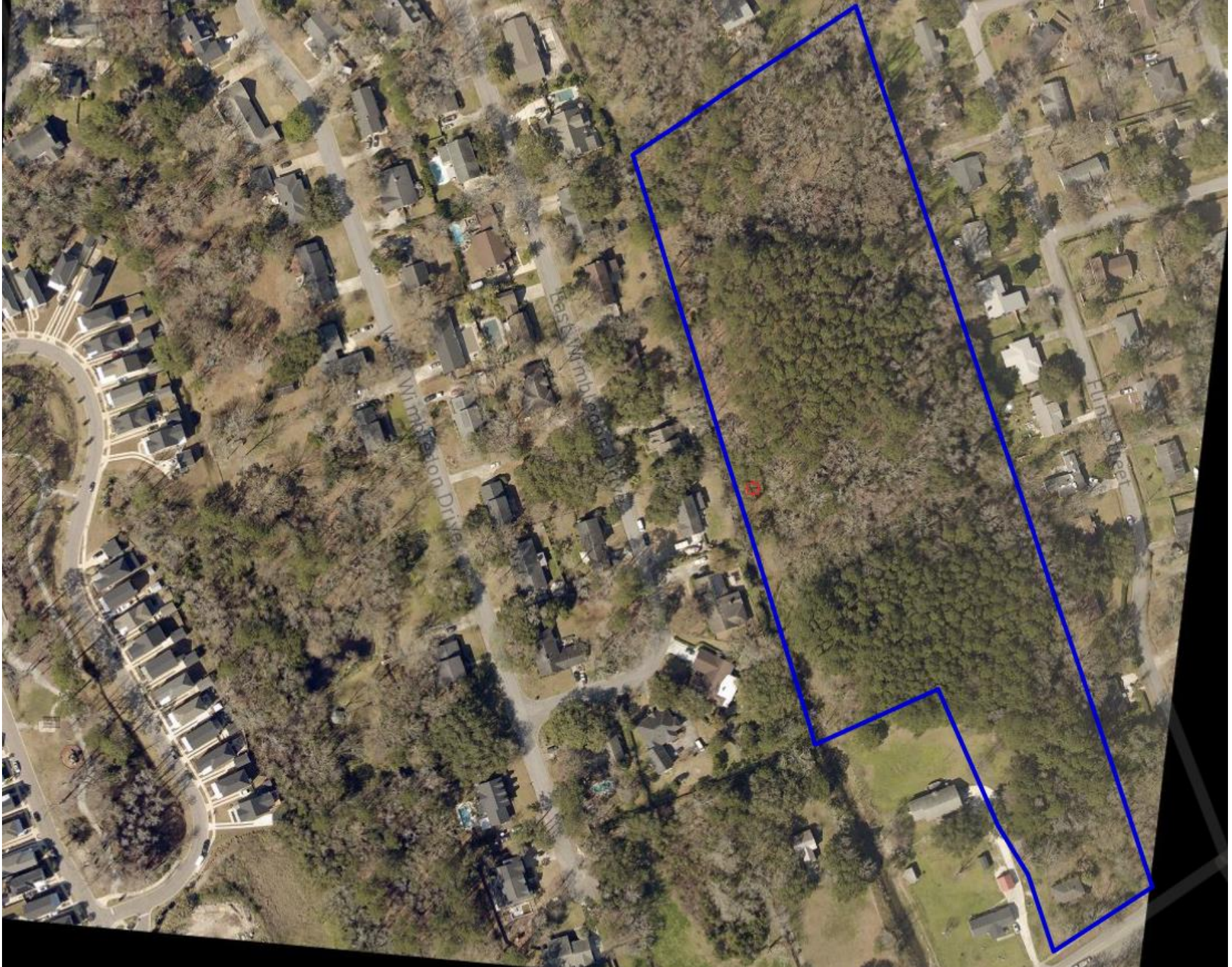
CENTRAL PARK

TMS # 340-03-00-007

Request variance from Sec. 54-301 to allow construction of single-family residences on lots (1-38) that exceeds the 2 ½ story height restriction for the SR-1 (Single-Family Residential) zone district, because the home's designed drive-under garage constitutes a 3rd story under Sec. 54-120.

Zoned SR-1









Instructions – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: May 17, 2022

Property Address Central Park Road, James Island, SC 29412 TMS # 340-03-00-007

Property Owner Central Park Road, LLC Daytime Phone 843-573-9635

Applicant Lesemann & Associates, LLC Daytime Phone 843-724-5155

Applicant's Mailing Address 418 King Street, Suite 301, Charleston, SC 29403

E-mail Address erl@lalawsc.com; nmt@lalawsc.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Attorney

Zoning of property SR-1 (Cluster)

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning Staff (3 sets)
☒ Plans or documents necessary to show compliance with special exception requirements (3 sets)
☒ Check, credit card or cash (make checks payable to the City of Charleston)
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☒ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Steve R. Dunn Date April 18, 2022

For office use only		
Date application received	Fee \$	Time application received
Staffperson		Receipt #

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

See Attachment

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

SUMMARY OF REQUEST FOR VARIANCE – CENTRAL PARK CLUSTER DEVELOPMENT

Central Park Road, LLC (the “Applicant”) seeks a variance from the strict application of the City’s recently adopted revisions to: (i) the definition of the term “story” under City Ordinance Section 54-120; and (ii) provisions of City Ordinance 54-505(e), which allows for certain properties to have a crawl space exceeding six (6) feet in height in some cases. The purpose of this variance request is to allow for the consistent construction of resilient homes with elevated crawl spaces on all thirty-eight (38) lots¹ within a new cluster development, rather than only on some of them.

As the Applicant recently confirmed with the City, some of the lots appear to already qualify for an elevated crawl space. However, others would appear to not qualify. This is due to: (i) recent changes in the Base Flood Elevation(s) of the lots; (ii) site modifications necessary to meet the regulatory requirements imposed by the City on this project; (iii) the City’s recent amendments to its Ordinances; and (iv) inherent variations in topography within the site. Through this request, the Applicant would be able to use elevated crawl spaces notwithstanding recent regulatory changes or inherent variations. Otherwise, the application of the City’s ordinances results in arbitrary outcomes in an area where consistency should be achieved, as increased resiliency is a community goal.

Relevant Provisions of the City’s Ordinances

There are two (2) relevant provisions of the City’s Ordinances for purposes of this variance request, which were modified/adopted in December 2021. The first is the definition of “story:”

Story. That portion of a building included between the surface of any floor and the surface of the next floor above, or if there be no floor above it, then the space between such and the ceiling next above it. Except as provided in Sec. 54-505-e., a crawl space that exceeds six (6) feet in height from the floor to the bottom of the horizontal floor structure above, shall count as a story.

See City Ordinance § 54-120 (emphasis added) (the underlined portion of the provision above was recently added to the definition through the adoption of Ordinance 2021-172 on December 7, 2021. Previously, the definition of story did not make specific reference to crawl spaces.

In addition to revising the definition of “story,” the City also added a section to the existing set of exceptions to height requirements, allowing for certain properties to have an elevated crawl space (*i.e.*, more than six (6) feet) based on the relationship between the “crawl space floor” (*i.e.*, the ground) to the Flood Insurance Rate Map (FIRM) Base Flood Elevation:

e. Properties in the Conservation, RR-1, SR-1, SR-2, SR-6, SR-7, and STR zoning districts located within a Flood Insurance Rate Map (FIRM) special flood hazard area where the elevation of the crawl space floor is not more than one and one-half (1½) feet above the FIRM Base Flood Elevation prescribed by the FIRM, as defined in Sec. 27-103 of the Code of the City of Charleston, shall be permitted to have a crawl space exceeding six (6) feet in height that does not count as a story, provided that the building height limitation in feet for the zoning district is not exceeded.

¹ A copy of the approved preliminary plat is attached as Exhibit A.

See City Ordinance § 54-505(e).² The one and one-half (1½) foot limitation is what necessitates this request.

The “crawl space floor” is the ground’s surface. On certain lots in Central Park, the relationship between the crawl space floor and the FIRM Base Flood Elevation is net. However, on others, it is not, although it would have been under the Flood Rate Insurance Maps that were in place prior to last year when this project was designed, planned, and approved. Additionally, the entirety of the site is located in a Special Flood Hazard Area Zone (as defined by FEMA) and has also been designated as a “Special Protection Area” by the City, which has required the project to meet additional criteria due to the City’s determination that the site is an “area associated with flooding.” For these reasons, the requested variances should be granted, even if 1 ½ foot relationship is exceeded in certain cases.

Elevation is a Key Component of Resilience

Throughout our City, both existing homes (including protected historic structures) and newly constructed homes are incorporating the benefit of elevated crawl spaces.³ This is recognized to be an extremely important tool to increase resilience. As was noted in the Final Report of the Dutch Dialogues, “Elevation is salvation from inundation. Elevation is critical in low-lying place, and awareness of place translates to informed action.” See Final Report of the Dutch Dialogues™ Charleston, at p. 38.⁴

Also, the Final Report noted that within a coastal zone, there is a stated goal of having “pockets of resilient, elevated communities, able to adapt to storm, surge and sea level rise outside of the primary coastal defense system.” *Id.*, at p. 59. In Transition Zones, which are defined as being between 10’ and 15’ in land elevation, elevated construction is recommended and specifically “clustered, elevated homes” as the Applicant seeks to do within Central Park. *Id.*, at 80. Within the section of the Final Report devoted to Church Creek, another area that has been designated by the City as a “Special Protection Area” for purposes of stormwater regulations, elevation is specifically recommended for new construction. *Id.*, at p. 113. Elevating homes to increase resilience is recognized and recommended by FEMA as well. See, e.g., “Protect Your Property from Flooding” (available at: https://www.fema.gov/sites/default/files/2020-11/fema_protect-your-home_flooding.pdf.)

These practices and recommendations are applicable to Central Park. The project team for Central Park, SeamonWhiteside, has prepared the attached statement of support for this variance request to allow for elevated crawl spaces within the Central Park development. See Statement of Hassan Ismail, Ph.D, dated April 4, 2021 (copy attached as Exhibit F). Dr. Ismail highlights the recognized importance of resilience in construction design, which has become a focal point and mission on the part of the City.

² A copy of City Ordinance 2021-172 is attached as Exhibit B.

³ A photograph of a new residence with an elevated crawl space that applicant seeks to build in Central Park is attached as Exhibit C. This was recently built by Crescent Homes SC, LLC in the Avenue of Oaks development, which is located within the Maryville section of the City. Additionally, a set of sample elevations for three different models is attached as Exhibit D.

⁴ A copy of the cited excerpts of the Final Report are attached as Exhibit E. The full report can be accessed at: <https://www.historiccharleston.org/dutch-dialogues/>.

Application of the City's Variance Test

As noted above, there are **extraordinary and exceptional conditions** pertaining to the lots. First, the lots are both: (i) a FEMA Special Flood Hazard Area Zone; and (ii) designed by the City as a "Special Protection Area," based on the City's internal determination that it is an "area associated with flooding." The City's designation of the site as a Special Protection Area occurred during the design review process, which elongated the already exhaustive, four-year review with the City's Technical Review Committee ("TRC").

During those four years, the Base Flood Elevation of the lots *decreased* based upon the issuance of revised Flood Insurance Rate Maps by FEMA. Then, in December 2021, the City enacted Ordinance 2021-172, which placed a new, specific limitation on the use of elevated crawl spaces that causes some of the lots to be eligible for elevated crawl spaces, but not others.

Central Park is a "cluster development," a technique that maximizes green space by allowing for the clustering of homes and related infrastructure. It is likely to be the last cluster development that is built within the City of Charleston, as the City removed the availability of "cluster zoning" from future projects by deleting this zoning designation from the City's ordinances in the Spring of 2021. For these reasons, the **conditions outlined above do not generally apply to other properties in the vicinity**.

When planning Central Park, a process than began in 2017, the Applicant has continuously intended to utilize plans that include an elevated crawl spaces (or "drive under" design). This allows for the goals of cluster development to be realized, as cars and items of personal property can be located within the footprint of the structure. Another important feature of the cluster design is that it reduces the overall amount of impervious surface.

The cluster zoning, lot design, and overall land planning have been undertaken with the intention to have elevated crawl spaces. As noted above, some of the lots qualify under the City's recent revisions to its Ordinances. However, others do not. The distinction is largely arbitrary, as the use of one and one-half feet (1 ½) feet as the limit, as opposed to two and one-half (2 ½) feet, for example, has no apparent basis. The result of the distinction is that lots within a development that vary just six (6) inches in elevation are treated differently, rather than allowing for them to be utilized in a more consistent manner. **Due to these conditions, the application of the Ordinance to the particular piece of property would unreasonably restrict the utilization of the property.**

The benefit of promoting resilience in the design and building of new construction is recognized. Being allowed to deploy such techniques within areas that have been designated by FEMA and the City as areas of elevated concern makes good common sense. By allowing for the consistent, rather than occasional use of elevated crawl spaces, the resilience of the entire development (and surrounding areas) is promoted. **For these reasons, the authorization of a variance will not be of substantial detriment to adjacent property or to the public good.**

EXHIBIT A

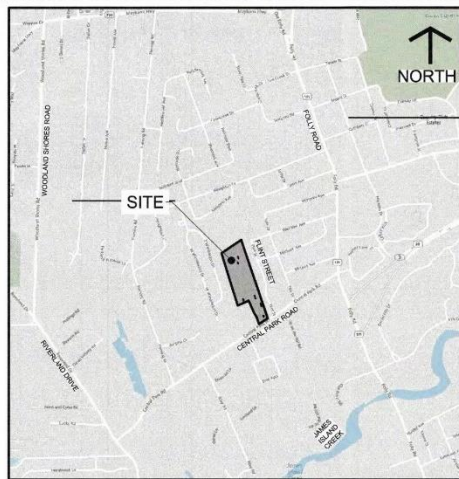
Approved Preliminary Plat

THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION.

501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29464 | 505 PHILIP STREET, SUITE 101 | GREENVILLE, SC 29601

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SITE LOCATION MAP



PROJECT DESCRIPTION

PROJECT DATA:

THIS PROJECT IS LOCATED ON A 10.35 ACRE TRACT OF LAND LOCATED ON CENTRAL PARK ROAD (TMS # 340-03-00-007). AN EXISTING ABANDONED SINGLE FAMILY HOME IS LOCATED ON PARCEL.

THE PROPOSED DEVELOPMENT WILL BE A 38 SINGLE FAMILY LOT CLUSTER DEVELOPMENT.

TOTAL SITE ACREAGE = 10.35 ACRES
TOTAL DISTURBED ACREAGE = 8.50 ACRES

ZONING DISTRICT

The parcel to be developed is zoned Single Family Residential (SR-1), is located in the City of Charleston, South Carolina, and will be developed as a by right cluster development.

FLOOD ZONE

Zone AE (EL. 12) Scaled from the FEMA Flood Map FIRM Community Panel #S 45019C0513J and 45019C0676J.

WATER SERVICE

Water service will be provided by Charleston Water System via an existing CWS water main.

SANITARY SEWER DISPOSAL

Sanitary Sewer Disposal service will be provided by James Island Public Sewer District via new sewer infrastructure to an existing JIPSD sewer main and then to a JIPSD pump station.

ACREAGE

Highland Acreage = 9.65 Acres
Wetlands Acreage = 0.70 Acres
Total Acreage = 10.35 Acres

PROPERTY INFORMATION

TMS# 340-03-00-007

PROJECT TOTAL ROADWAY LENGTH

2366.35 LF of total roadway
2274.74 LF of Public roadway
91.61 LF of Private roadway

WETLAND NOTE:

Approved Jurisdictional Determination (SAC-2015-00127) Dated on February 5, 2016, for a 10.35 acre site located on Central Park Road near Flint Street on James Island, Charleston County, SC.

ADA NOTE:

Pedestrian paths, trails and sidewalks will be ADA compliant.

TREE NOTE:

All infrastructures shall avoid the TPZ or impact reduced where possible by utilizing alternative design methods.

PHASING NOTE:

Project to be built in one phase.

GENERAL NOTE:

Covenants for permanent maintenance of stormwater facilities form and as-built drawings for stormwater management facilities must be completed in accordance with City of Charleston specifications prior to dedication of the public right-of-way and associated public infrastructure.

OPEN SPACE:

This site is greater than 10 acres and therefore, per the Cluster Development Requirements, requires 50% Open space.

VERTICAL DATUM

Design Elevations Based on NAVD 88 Vertical Datum

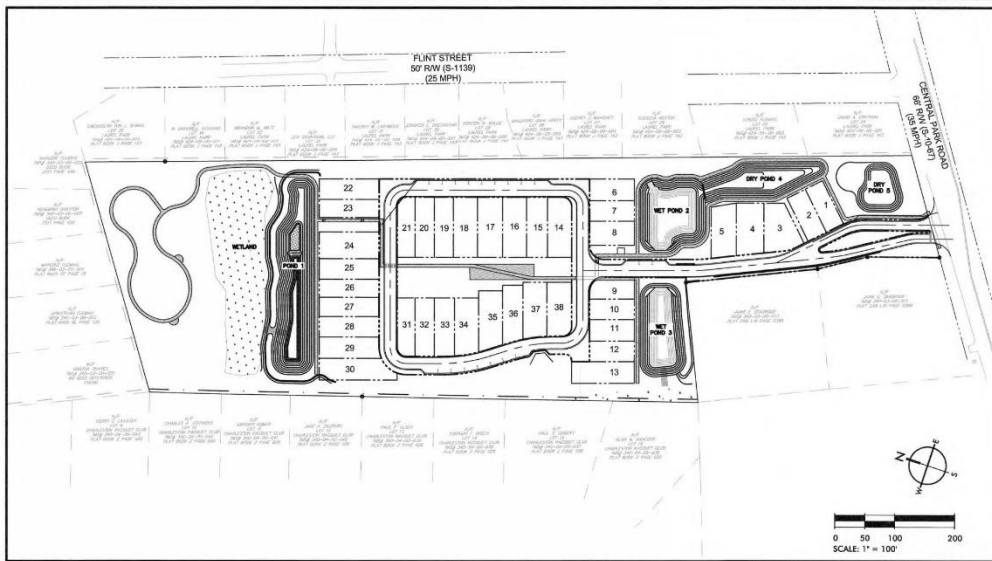
CENTRAL PARK CLUSTER DEVELOPMENT

CITY OF CHARLESTON, SC

CITY PROJECT ID# - TRC-SUB2018-000096

TMS #340-03-00-007

SITE OVERVIEW



APPROVALS	APPROVAL CONDITIONS
BZA-SO 3/7/18	STAFF RECOMMENDATIONS AND CONDITIONS: APPROVAL: 1. TREE #18 IS TO BE PRESERVED. 2. TREES #9, 10, AND 17 TO BE FURTHER STUDIED IN ORDER TO BE PRESERVED. 3. TREE #47 TO BE PRESERVED AND THE PROPOSED RETAINING WALL IN THE RIGHT-OF-WAY TO BE APPROVED BY THE PUBLIC SERVICE DEPARTMENT. 4. TREE #44 AND 49 TO BE FURTHER STUDIED IN ORDER TO NOT BE PLACED IN A TREE WELL AND/OR THE PORTION OF THE TREE WELL IN THE RIGHT-OF-WAY TO BE APPROVED BY THE PUBLIC SERVICE DEPARTMENT. 5. TREES #4, 3, AND 2 TO HAVE AS MUCH EXISTING GRADE AS POSSIBLE MAINTAINED OUTSIDE THEIR PROTECTION ZONES. 6. TREES #4, 11, AND 13 WILL BE SUPPORTED FOR REMOVAL WITH REQUIRED MITIGATION. MUST PLANT 107 CALIPER INCHES OF CHAROY TREES ON THE HIGH LOTS WITH A MAJORITY ON THE WEST SIDE OF THE PROJECT. 7. MUST HAVE A DEFERRED ARRANGEMENT TO TRIM AND PRUNE THE EXISTING GRAND TREES TO BE PRESERVED. 8. IF NECESSARY A CERTIFIED ARBORIST TO ASSIST IN MAINTAINING POSITIVE DRAINAGE AWAY FROM A GRAND TREE TO BE PRESERVED.
BZA-SO 6/8/18	STAFF RECOMMENDATIONS AND CONDITIONS: APPROVAL: 1. TREE MITIGATION. 2. CARRY OVER CONDITIONS FROM THE 3/7/18 MEETING. 3. SPECIAL EXCEPTION. 1. APPROVED REMOVAL OF TREES #9 AND 10 WITH MITIGATION. 2. SAVE TREE #17 WITH NO TREE WELL. 3. CARRY OVER CONDITIONS FROM THE 3/7/18 MEETING.

APPROVALS	DESCRIPTION OF APPROVAL	SUBMITTAL DATE	APPROVAL DATE
CONCEPT PLAN	PLANNING COMMISSION CONCEPT PLAN	5/28/17	11/28/17
BZA-SO	GRAND TREE ENCROACHMENTS AND REMOVALS	12/4/14	3/7/18
BZA-SO	GRAND TREE REMOVALS	5/7/17	6/8/18

CITY OF CHARLESTON DEPARTMENT OF STORMWATER MANAGEMENT APPROVAL

The Department of Stormwater Management of the City of Charleston has reviewed the Comprehensive Stormwater Pollution Prevention Plan (C-SWPPP) associated with these construction plans and determined that the proposed construction project has been found to be in compliance with the City of Charleston's minimum standards and Stormwater Management Ordinance. Please note that the City by reviewing and providing an opinion on compliance does not assume any liability as a result of providing such review and opinion. This approval shall not affect the designer, engineer, owner's, and/or developer's duty, responsibility, or liability for any Federal, State or City laws or regulations.

This approval does not serve as the final TRC approval nor does the approval constitute, in any way, the right to start construction. No construction can commence until South Carolina Department of Health and Environmental Control (SCDHCEC) has issued permit coverage under the National Pollutant Discharge Elimination System (NPDES) Construction General Permit (CGP) for the project and the decision becomes the final agency decision, and the City provides final TRC approved road construction plans. Any construction started before final permitting is received shall be subject to a stop work order and other penalties prescribed by law.

Department of Stormwater Management
City of Charleston
Conditions of Approval

STORMWATER DESIGN STANDARDS MANUAL (SWDSM) VARIANCES

APPLICABLE SECTION	DESCRIPTION OF VARIANCE	SUBMITTAL DATE	APPROVAL DATE
3.6.5.0	ALTERNATE BOOT CONNECTION	4.1.19	12.5.19
3.6.5.0	STORMWATER STRUCTURES HAVING 0.1 DROP	4.1.19	12.5.19
3.6.5.0	STORMWATER PIPES HAVING 0.00% SLOPE	4.1.19	12.5.19
3.6.3.0	PIPES DISCHARGING LOWER THAN 4.0' NGVD 29	4.1.19	12.5.19

PROJECT CONTACTS

DEVELOPER/OWNER:
CENTRAL PARK ROAD, LLC.
572 SAVANNAH HIGHWAY
CHARLESTON, SC 29404
PHONE: (843) 573-9835
CONTACT: BOB PICKARD

LANDSCAPE ARCHITECT:
SEAMON WHITESIDE & ASSOCIATES, INC.
501 WANDO PARK BLVD., SUITE 200
MOUNT PLEASANT, SC 29464
PHONE: (843) 884-1867
CONTACT: BILL EUBANKS

SOUTH CAROLINA
DEPT. OF HEALTH AND ENVIRONMENTAL CONTROL

DAW SAFETY AND STORMWATER PERMITTING DIVISION
CONSTRUCTION STORMWATER PERMITTING
APPROVED FOR CONSTRUCTION ONLY

CMC PERMIT # SC10275
DATE ISSUED: 2-13-2021
BY: JAC

CIVIL ENGINEER:
SEAMON WHITESIDE & ASSOCIATES, INC.
501 WANDO PARK BLVD., SUITE 200
MOUNT PLEASANT, SC 29464
PHONE: (843) 884-1867
CONTACT: JASON MUNDAY, P.E.

UTILITY CONTACTS:
WATER:
CHARLESTON WATER SYSTEM
103 ST. PHILIP ST.
CHARLESTON, SC 29403
PHONE: (843) 727-6869
CONTACT: LYDIA OWENS

SEWER:
JAMES ISLAND PUBLIC SEWER DISTRICT
1739 SHIPMENT ROAD
CHARLESTON, SC 29412
PHONE: (843) 795-9060

SOURCES:
GRAND TREE AND TOPO SURVEY BY:
PARKER LAND SURVEYING, LLC
5910 GRIFFIN STREET
HANAHAN, SC 29410
PHONE: (843) 554-7777
CONTACT: BILL VAUSE

MUNICIPALITY CONTACTS:
CITY OF CHARLESTON
DEPARTMENT OF PLANNING,
PRESERVATION AND SUSTAINABILITY
2 GEORGE ST., 3RD FLOOR
CHARLESTON, SC 29401
PHONE: (843) 724-9781
CONTACT: ERIC SCHULTZ

NOTE:
SEE SHEET C1.1 FOR DETAILED
REVISION HISTORY

SHEET	SHEET TITLE
C-1.0	TITLE SHEET
C-1.1	LEGEND & REVISION NOTES
1 OF 1	TREE AND TOPO SURVEY BY PLS
1 OF 1	UPDATED PIPE SURVEY BY GPA
1 OF 1	WETLAND SURVEY
C-2.0	PRELIMINARY PLAT
C-2.1	DRAINAGE EASEMENT PLAN
C-2.2	PRELIMINARY PLAT NOTES
C-2.3	TRAILS AND OPEN SPACE PLAN
C-3.0	DEMOLITION AND TREE REMOVAL PLAN
C-4.0	SWPP PLAN - INITIAL PHASE 1A
C-4.1	SWPP PLAN - INITIAL PHASE 1B
C-4.2	SWPP PLAN - CONSTRUCTION PHASE 2
C-4.3	SWPP PLAN - STABILIZATION PHASE 3
C-4.4	SWPPP NOTES
C-4.6	SWPPP DETAILS I
C-4.7	SWPPP DETAILS II
C-4.8	SWPPP DETAILS III
C-5.0	TRAFFIC AND SIGNAGE PLAN
C-5.1	TRAFFIC AND SIGNAGE DETAILS
C-5.2	CONSTRUCTION TRAFFIC FLOW PLAN
C-5.3	ADA ACCESSIBILITY PLAN
C-6.1	OVERALL DRAINAGE PLAN
C-6.2	DRAINAGE PLAN - I
C-6.3	DRAINAGE PLAN - II
C-6.4	DRAINAGE PROFILES
C-6.5	DRAINAGE PROFILES
C-6.6	BYPASS POND SYSTEM PLAN
C-7.0	OVERALL GRADING PLAN
C-7.1	GRADING PLAN - I
C-7.2	GRADING PLAN - II
C-7.3	ROADWAY PLAN & PROFILE
C-7.4	ROADWAY PLAN & PROFILE
C-7.5	ROADWAY INTERSECTIONS
C-7.7	WALL PLAN
C-8.1	WATER & FINE PROTECTION PLAN
C-8.2	WATER PROFILES
C-8.3	WATER DETAILS
C-8.4	WATER DETAILS
C-8.9	SEWER PLAN
C-9.2	SEWER PROFILES
C-9.3	SEWER DETAILS
C-10.1	CONSTRUCTION DETAILS I
C-10.2	CONSTRUCTION DETAILS II
C-10.3	CONSTRUCTION DETAILS III
C-11.0	SCDOT OVERALL SITE PLAN
C-11.1	SCDOT ENCROACHMENT PLANS
C-11.2	SCDOT ENCROACHMENT PLANS
C-11.3	SCDOT ENCROACHMENT AND CROSS SECTIONS
C-11.4	SCDOT CROSS SECTIONS
C-11.5	SCDOT ENCROACHMENT PLANS
C-11.6	SCDOT ENCROACHMENT PLANS
C-11.7	SCDOT DETAILS
C-11.8	SCDOT DETAILS
L-1.0	PLANTING PLAN
L-2.0	PLANT SCHEDULE AND DETAILS
EX	BZA-SO EXHIBITS
EX	BZA-SO EXHIBIT
EX	CONCEPT PLAN APPROVAL



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843.884.1867
GREENVILLE, SC
864.288.0534
SUMMERVILLE, SC
843.884.1867
WWW.SEAMONWHITESIDE.COM



CENTRAL PARK
CLUSTER DEVELOPMENT
JAMES ISLAND
TMS# 340-03-00-007
CITY OF CHARLESTON, SOUTH CAROLINA

SW PROJECT: 7492
DATE: 5/28/17
DRAWN BY: LMP
CHECKED BY: JEM

REVISION HISTORY
18 1/22/20 25 4/29/20
19 1/14/20 26 5/29/20
20 2/12/20 27 8/29/20
21 2/24/20 28 9/30/20
22 3/20/20 29 1/12/21
23 3/20/20 30 1/19/21
24 4/13/20 31 2/4/21

TITLE SHEET

EXHIBIT B

City Ordinance 2021-172



Ratification
Number 2021-172

AN ORDINANCE

TO AMEND CHAPTER 54 OF THE CODE OF THE CITY OF CHARLESTON (ZONING ORDINANCE) ARTICLE 2-GENERAL PROVISIONS, PART 3-DEFINITIONS, SECTION 54-120-DEFINITIONS AND ARTICLE 5-EXCEPTIONS AND MODIFICATIONS, PART 2-EXCEPTIONS TO HEIGHT AND SETBACK REQUIREMENTS, SECTION 54-505-EXCEPTIONS TO HEIGHT REQUIREMENTS

THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL MEMBERS IN CITYCOUNCIL ASSEMBLED:

Section 1. That Article 2-General Provisions; Part 3-Definitions; Section 54-120-Definitions; "Story" be amended as follows:

Story. That portion of a building included between the surface of any floor and the surface of the next floor above, or if there be no floor above it, then the space between such and the ceiling next above it. Except as provided in Sec. 54-505-e., a crawl space that exceeds six (6) feet in height from the floor to the bottom of the horizontal floor structure above, shall count as a story.

Section 2. That Article 2-General Provisions; Part 3-Definitions; Section 54-120-Definitions be amended by inserting the following definitions in alphabetical order:

Crawl Space. Crawl space is defined as an underfloor space that is not a basement, is designed to preclude habitable space, and is located beneath the lowest finished (habitable) floor.

Special Flood Hazard Area. SFHA are defined as the area that will be inundated by the flood event having a 1-percent chance of being equalled or exceeded in any given year. The 1-percent annual chance flood is also referred to as the base flood or 100-year flood. SFHAs are labeled on Flood Insurance Rate Maps as Zone A, Zone AO, Zone AH, Zones A1-A30, Zone AE, Zone A99, Zone AR, Zone AR/AE, Zone AR/AO, Zone AR/A1-A30, Zone AR/A, Zone V, Zone VE, and Zones V1-V30.

Section 3. That Article 5-Exceptions and Modifications; Part 2-Exceptions to Height and Setback Requirements; Section 54-505-Exceptions to Height Requirements be amended as follows:

Sec. 54-505. Exceptions to height requirements.

In all areas covered by this Zoning Ordinance, except in those areas covered by the Old City Height Districts as described in 54-305, the following exceptions shall apply:

a. The height limitations of this Chapter shall not apply to church spires, belfries, cupolas and domes not intended or used for human occupancy; monuments, water towers, observation towers, transmission towers, masts and aials, provided that such uses are not within the aircraft landing approach zone. Whenever any of the above uses are proposed within aircraft approach zones, an applicant must submit written approval received from the proper aeronautical authorities before a building permit may be issued.

b. In any General Business, Gathering Place, Urban Commercial, Business Park, or Light Industrial district, the maximum height for a communication tower shall be determined by Section 54-207, c. In any Heavy Industrial district, the maximum height for a communication tower shall not exceed four hundred (400) feet provided the tower is located no closer to a residential or conservation zoned property than a distance equal to one-half ($\frac{1}{2}$) the height of the proposed tower and no closer to the centerline of a public right-of-way than a distance equal to one-third ($\frac{1}{3}$) the height of the proposed tower. In any Light Industrial or Heavy Industrial district, the maximum height of any other non-residential structure may be increased to eighty (80) feet provided the structure is set back from all property lines a minimum distance equal to the total height of the structure.

c. In any Conservation, RR-1, SR-1, SR-2, SR-6, SR-7 and STR zoning district, the height of a dwelling may be increased to forty (40) feet, but not exceed $2\frac{1}{2}$ stories, provided that the width of each side yard required by Table 3.1 for the districts in which the building is located is increased a distance equal to at least two times the added height of the buildings above the thirty-five (35) foot limitation of the district.

d. Properties in the Conservation, RR-1, SR-1, SR-2, SR-6, SR-7 and STR zoning districts located within a Flood Insurance Rate Map (FIRM) special flood hazard area shall be permitted to have dwellings with a maximum height, not to exceed forty-seven (47) feet or $2\frac{1}{2}$ stories, whichever is less, based on the following formula: (FIRM base flood elevation + two feet of additional freeboard - lowest curb line elevation adjacent to the site + 35).

e. Properties in the Conservation, RR-1, SR-1, SR-2, SR-6, SR-7 and STR zoning districts located within a Flood Insurance Rate Map (FIRM) special flood hazard area where the elevation of the crawl space floor is not more than one and one-half ($1\frac{1}{2}$) feet above the FIRM Base Flood Elevation prescribed by the FIRM, as defined in Sec. 27-103 of the Code of the City of Charleston, shall be permitted to have a crawl space exceeding six (6) feet in height that does not count as a story, provided the building height limitation in feet for the zoning district is not exceeded.

df. In any General Office, Limited Business, General Business, Urban Commercial, Light Industrial or Heavy Industrial district, the height limitation for public buildings, churches, hospitals or schools may be increased to eighty (80) feet, but not exceed six (6) stories; provided that the width of each side yard and rear yard is at least twenty-five (25) feet. In addition, the Commercial Corridor Design Review Board is authorized to permit architectural features such as parapets, cupolas, roof structures, and other similar features, on the above referenced buildings under their review authority, to exceed the eighty (80) foot height limitation but not exceed a total building height of ninety-five (95) feet.


eg. In any General Office, Limited Business, General Business, Urban Commercial, Light Industrial or Heavy Industrial district, the Commercial Corridor Design Review Board is authorized to permit architectural features such as parapets, cupolas, roof structures, and other similar features, on any building under their review authority, to exceed the fifty-five (55) foot height limitation but not exceed a total building height of seventy (70) feet.

fh. In any business or industrial district, the height limitation of the district may be exceeded by structures requiring special design on account of their particular use in industry or commerce such as chimneys, stacks, grain elevators, detached water or wireless towers, provided they otherwise comply with the regulations prescribed.

gi. In any business or industrial district, chimneys, stacks, elevator bulkheads, elevator penthouses, stair towers, gas or water towers, cooling towers, stage towers or scenery lofts, and other necessary mechanical appurtenances, where permitted by the use regulations of this Chapter and when erected upon and as an integral part of the building, may be erected or extended above the height limit of the district; provided that any such structure shall be set back from the vertical plane of the permitted building setback line one (1) foot horizontally for each two (2) feet of extra height.

Section 4. That these amendments adopted hereby shall take effect and be in full force and effect immediately upon ratification.

Ratified in City Council this 7th day of December in the Year of Our Lord, 2021 in the 246th Year of Independence of the United States of America.

By: 
John J. Tecklenburg
Mayor, City of Charleston

ATTEST: 
Jennifer Cook
Clerk of Council

EXHIBIT C

Photograph of Sample Home with Elevated Crawl Space



EXHIBIT D

Sample Elevations for Different Home Models



MONROE
FRONT ELEVATION 'A'
1/8" = 1'-0" (1/8" = 1'-0")
SCALE 3/8" = 1'-0"



MONTAGUE

FRONT ELEVATION 'C'
1/8" = 1'-0" (1/8" = 1'-0")
SCALE 3/8" = 1'-0"



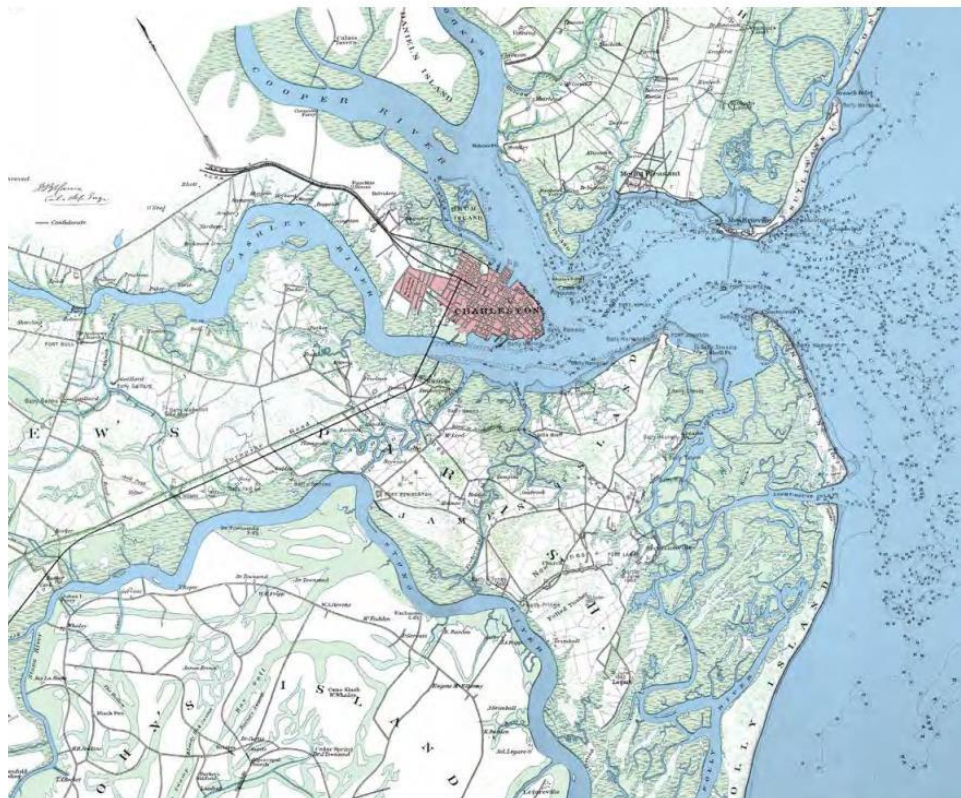
EMORY
FRONT ELEVATION 'B'
1/8" = 1'-0" (1/8" = 1'-0")
SCALE 3/8" = 1'-0"

CENTRAL PARK DRIVE-UNDERS

EXHIBIT E

Excerpts from Dutch Dialogues

Dutch DialoguesTM Charleston



September 2019

Contents

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A Layered Approach

A layered planning approach begins with Charleston's most basic layer: its physical ground, the land and water upon which infrastructure and inhabitation, history and culture, are based.

Safety first. Safety is increased through elevation and redundancy. Multiple lines of defense begin outside the city, in the landscape, and are also structured from within. Sustainable inhabitation is connected to deep geology.

Elevation is salvation from inundation. Elevation is critical in low-lying place, and awareness of place translates to informed action. Charleston has areas of stable, relatively high ground, a critical asset in high water.

Know where you are. The Ashley and Cooper are tidal rivers. Shorelines shift across a low landscape, and plants and habitat move with them, if allowed. Healthy ecology supports a healthy economy and can provide protective benefits. Sustainable infrastructure aligns with ecological function. Water in the region must be understood as a holistic system, man-made and natural in tandem.

Work at multiple scales. Focus on the smallest scale, with an understanding of larger watershed and system functions. Conflicts between and within layers are acknowledged—culture and technology sometimes produce misalignments—and design solutions begin by asking what lies underneath.

Pursue multiple benefits. Single-purpose infrastructure is a poor investment.

No regrets. Make sure action taken now will not compromise future opportunities. Projects should fit within a comprehensive planning vision, but should be able to operate independently with success. Plans must be adaptable over time.



Dutch Sand Engine

This Building with Nature project distributes sand along the Dutch coast with the forces of wind and water
Credit: Rijkswaterstaat



Top

Example of a flood resilient home
Credit: Aamodt/Plumb Architects

Above

Coastal flood defense in the beach resort of Katwijk, a combination of a sea dike, underground, beach-front parking garage, covered by a natural dune with a pedestrian zone and a nature reserve
Credit: Arcadis

- A robust intertidal and coastal marsh zone, buffering land and sea, with coastal marsh restoration, increased oyster banks and similar “building with nature” components.
- Pockets of resilient, elevated communities, able to adapt to storm, surge and sea level rise outside of the primary coastal defense system.
- A coastal defense alignment, behind which all infrastructure and buildings will be protected against the impacts of storm surge at the defined risk reduction level. This line would consist of coastal ridges, dunes, berms, sea dikes, levees and, where necessary (due to spatial constraints), floodwalls. Note: the Dutch have begun using more multifunctional flood protection structures in which primary flood protection and other economic, environmental, mobility or social benefits are combined.
- Gates / Barriers integrated into the coastal defense line to limit storm surge impacts that would occur via open water channels. To lessen ecosystem impacts and ensure normal riverine and tidal exchange and shipping access, movable gates would be required. These are complex structures and can be vertical lift gates or navigable barriers or a combination thereof.

more) and bridges-- with little-to-no landfill and no large-scale removal of existing soils and trees. Maintaining the existing coastal forest is essential: the average forest canopy should be maintained at 50% or more of land cover in this zone.

The ecological zone carries substantial flood risk and can expect to get wet in a 100-year storm which, oddly, means a 1% chance of flooding in any year but also a 26% chance that a home with a 30-yr mortgage will flood once over the mortgage term. Those living in this zone should be fully aware of the risk they assume by living there.

The transition zone is defined as areas between 10-15ft above MSL. **In the transition zone, development is possible, including clustered, elevated homes.** Development here must respect the dynamic nature of the landscape, with fluctuating water levels and sufficient, maintained overland drainage channels, and the need for tailored flood risk reduction strategies. Fill should be sparingly used, primarily for road

construction or to elevate only certain homes. The coastal forests in this zone should not be further degraded as trees are essential for storing and managing stormwater.

The community zone, at 15 feet and more above MSL, is on historic and stable sand ridges, the most prominent of which are along Maybank Ridge and Upper Burden Creek. **This is stronger, higher, safer, and thus valuable ground**, although it is neither scarce nor abundant. Clustered development combined with stormwater infiltration could be encouraged in this zone, especially where the soils readily infiltrate and store water. The existing water systems-- channels, swales, creeks, ditches -- in these zones must also be protected, maintained and not further compromised, filled or eliminated. These systems store and infiltrate stormwater, providing stormwater management and hydrologic balance. Clear rules to protect these hydrologic features must be developed and enforced.

Zone	Approx. Land Elev. (NAVD)	Allowable Development Density	Allowable Foundation Types	Fill Allowed	Potential Stormwater BMPs
Wet Zone	0 – 6'	None	N/A	No	Living Shorelines/Buffers
Ecological Zone	6 – 10'	Limited (Single)	Elevated	Roadways Only	Promote Buffers/Open Systems/Space/Storage Only
Transition Zone	10 – 15'	Moderate	Elevated/ Limited Slab on Grade	Limited	Closed Systems/ Open Space/Storage and Green Infrastructure/ Infiltration
Community Zone	> 15'	Moderate to Urban	Mix	Limited to Moderate	Green Infrastructure/ Infiltration and Limited Closed Systems

Elevation Zones

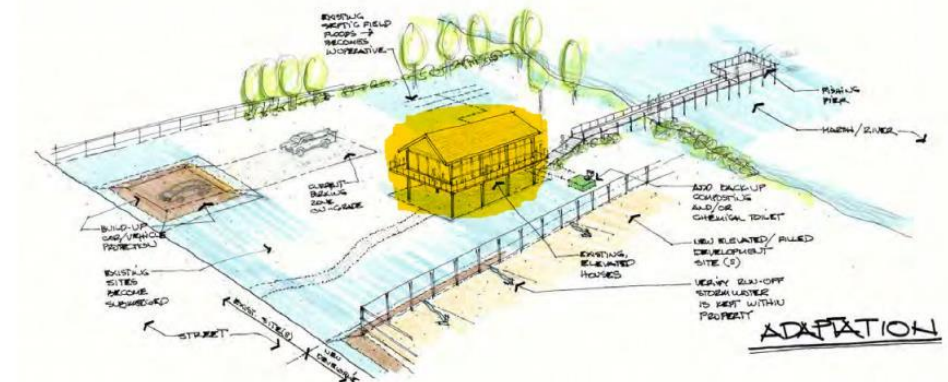
Four different zones are described relative to development strategies



Inland Development



Retrofitted Road Overpasses



Coastal Development

New Development

Our proposed blue-green network might be supplemented with new or repurposed developments (red areas in opposite drawing) within the floodplain. This development pattern establishes a vision and direction for the region and can be achieved over the next decade or two. We suggest starting on this vision as soon as possible, through a process that includes new developments in the pipeline and those already on the drawing board.

Sea level rise will extend the floodplain inland.

Some development here -- we all like to live near the water--is acceptable if properly elevated. An old Cajun-saying is relevant: **Elevation is Salvation from Inundation.** But this development will have to adapt to the water system, not the other way around. A new type of water-centric development could be a cultural and economic asset for Charleston. Connectivity for cars, bikes and pedestrians-- via possible new linear parks--could reinforce this living with water vision.

EXHIBIT F

Statement of Hassan Ismail, Ph.D



Hassan Ismail, Ph.D., P.E.
Water Resources Project Manager
SeamonWhiteside
508 Rhett Street
Greenville SC 29601
(864) 298-0534 ext. 546
hismail@seamonwhiteside.com

April 13, 2022

To Whom It May Concern:

I am writing to provide my professional opinion regarding the Central Park Cluster Development located in the City of Charleston, South Carolina (TMS #340-03-00-007). There is valid engineering support for the requested variance to elevate all proposed homes to drive under type structures for the purpose of flood resiliency.

I am a triple-alumnus of the University of South Carolina, Columbia earning a B.S. in Civil Engineering in 2012, M.S. in Civil Engineering in 2015, and Ph.D. in Civil Engineering in 2018. My area of focus is Water Resources Engineering. While a graduate student, I actively worked as a research and teaching assistant at the University. In the process of earning my Ph.D., I underwent several examinations including a Comprehensive Exam to enter Doctoral Candidacy covering basic and advanced topics across the spectrum of subdisciplines in Water Resources. Passing the exam represents a thorough and advanced understanding of the discipline. After earning my doctorate, I joined the research faculty of the Civil Engineering department at Penn State University in University Park, PA where I conducted basic and applied research in various areas of Water Resources Engineering. I now am a practicing engineer in Greenville, SC with Professional Engineering licensure in SC and PA. My most recent work is in the areas of hydrologic and hydraulic modeling, flood inundation, floodplain mapping, nature-based infrastructure, and drainage improvement.

My understanding of the development at the Central Park site includes 38 residences in clusters, a roadway access via Central Park Road, stormwater management ponds, and the retention of natural woods and greenspace on the perimeter and back (northern) end of the parcel. The developer would like to elevate all homes in the development to protect against flood damage, among other reasons. My understanding is that the City will allow elevation of the buildings on certain lots to drive-under type structures, but a variance is sought to elevate all structures.

Geographically, the site is located on the South Carolina Coastal Plain which is vulnerable to flooding from the combined effects of wave action and storm surge as well as riverine flooding. For example, in 2015, the City of Charleston was inundated by the so-called "thousand-year" event of 20 inches of rain as well as 8.2 feet high storm surge due to Hurricane Joaquin.

The effective Flood Insurance Rate Map (FIRM) was effective as of January 29, 2021. With the exception of a small portion of the site near Central Park Road, the site is located entirely within a Federal Emergency Management Agency (FEMA) Special Flood Hazard Area (SFHA) Zone AE with a base flood elevation (BFE) of 10 feet above mean sea level. Ground elevations on the proposed site range from 9 to 12 feet. The City of Charleston Code of Ordinances stipulates that new residential construction

lowest floor elevations must be elevated to a minimum elevation of the BFE plus two (2) feet. Here, the additional two (2) feet is referred to as 'freeboard.' It is common to reach this level of flood protection by either placing structural fill to elevate building pads, or by elevating buildings with perimeter walls or piles. However, elevating buildings is preferable to fill since it does not reduce floodplain storage capacity. Elevating finished floor elevations using perimeter walls or piles on the other hand does not reduce flood storage capacity, since floodwaters can still freely flow thus having little effect on mapped flood zones.

In an effort to increase resiliency, the City has several programs aimed at protecting against flood-induced damages. Notably, the City's 2019 Flood and Sea Level Rise Strategy final report outlines those efforts. For example, the Dutch Dialogues program involved coordination with the Kingdom of the Netherlands who has historically and famously shown resiliency in the face of land subsidence, sea level rise, and flooding. In the first pages of the September 2019 Dutch Dialogues Charleston report, the authors stressed the criticality of elevation in coastal developments. With each additional rise in a structure's floor elevation comes added security from flood inundation and less susceptibility to risks stemming from uncertainties in the models, methods, and analyses used to generate risk maps. In their discussion of regional flood resilient systems, the authors include "Pockets of resilient, elevated communities, able to adapt to storm surge and sea level rise outside of the primary coastal defense system" as a key element for large-scale resilience. In the same Dutch Dialogues report, the site location is defined as being in the "Transition Zone" with approximate land elevations of 10 to 15 feet. The report again specifies that clustered, elevated homes are favorable development methods, and suggest only limited slab on grade development.

As an additional benefit to elevating buildings (even if not strictly required), relates to the National Flood Insurance Program (NFIP) of which the City of Charleston is participant. Each community is given a rating which directly translates to reduction of premiums for policyholders under the NFIP. That is, communities with higher rating enjoy larger reduction in flood insurance premiums. This incentive method from the NFIP encourages communities to take actions to increase resiliency through public information, regulations, damage reduction, and warning systems. The City has already taken advantage of several measures including documenting existing hazards and conducting a city-wide risk assessment. Continued commitment to resilience measures will keep the City in good standing with the NFIP and potentially increase the City's rating in the future.

It is important to take additional risk mitigation actions today, as those opportunities present themselves. Voluntary elevation of new structures above the BFE or flood protection elevation represents an opportunity to enjoy benefits from proactive measures to reduce risk in the face of unknown future conditions. It is not possible to discuss resiliency without discussion of the combined effects of rising sea level, increased rainfall intensities, and potential for more frequent high-intensity storm events. FEMA flood maps, for example, only consider present-day conditions. Although they are heavily relied upon for understanding where vulnerabilities may be, they can be poor predictors of likelihood of inundation and damage in future conditions. The National Oceanic and Atmospheric Administration (NOAA) predicts sea level in Charleston could rise as much as 20 inches through the year 2050. The obvious effect is that locations with, for example, BFE of 10 feet will likely have higher BFE along with new areas of inundation. If a building is voluntarily elevated above the regulatory flood protection elevation, it is more likely that it will remain protected as BFE values increase and could possibly avoid costly future retrofits and rebuilds. Rises in sea level translate hydrologically to increases in downstream water surface elevation for rivers, streams, and marshes. Higher downstream water level results in slower flows in drainage networks exacerbating existing and new areas of inundation. Preparations for sea level rise include measure such as elevating buildings as suggested in the Flood and Sea Level Rise Strategy and Dutch Dialogues reports.

Beyond changes in sea level, NOAA is in the process of updating its published rainfall intensity data. These data are published in NOAA's ATLAS 14 which is the standard for use in stormwater and drainage designs. ATLAS 14 is currently undergoing revision, and South Carolina was recently added to the list of States which will be next in line to undergo revision. The newer rainfall data will show higher rainfall intensities (e.g., more inches of rainfall for the 10-year storm) resulting in more stringent standards for engineering designs. That is, if the current published 10-year rainfall intensity is only 6 inches, and the revised ATLAS 14 rainfall intensity is 8 inches, the additional rainfall and runoff must be accounted for by engineers. The result could be that some designs may meet today's standards but may not meet standards when ATLAS 14 is updated. Again, this emphasizes the need to accept voluntary risk reduction measures now which could reduce vulnerability in the future.

Preparing for future conditions is a hallmark of resilient design and policies. Additional protective measures taken today can result in a more well-prepared community as changes in storm patterns and higher sea levels become the norm. Elevating all buildings in the development could provide this protection and reaffirm the City's commitment to resilience.

Sincerely,

A handwritten signature in blue ink, reading "Hassan Ismail". The signature is fluid and cursive, with the first name "Hassan" and last name "Ismail" clearly distinguishable.

Hassan Ismail, Ph.D., P.E.

Agenda Item #B-8

2 LONGITUDE LANE

(CHARLESTOWNE)

TMS # 458-13-01-124

Request variance from Sec. 54-301 to allow construction of a single-family residence with a 3-ft. west side setback and 49% lot occupancy (7-ft. required 35% limitation).

Zoned SR-5



Instructions – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: May 17, 2022

Property Address 2 Longitude Lane TMS # 458-13-01-124

Property Owner Alison Brewer Daytime Phone 843-834-0053

Applicant Alison Brewer Daytime Phone _____

Applicant's Mailing Address 69 E. Bay Street Charleston, SC 29401

E-mail Address michael.e.brewer@comcast.net

Relationship of applicant to owner (same, representative, prospective buyer, other) same

Zoning of property SR5

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans HVAC on roof
☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)
☒ Check, credit card or cash (make checks payable to the City of Charleston)
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs Will forward to file
☐ Letters or petitions from neighbors or organizations directly affected by your request Will forward to file

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Alison Brewer Date 4-18-22

For office use only

Date application received _____ Time application received _____
Staffperson _____ Fee \$ _____ Receipt # _____

BZA-Z Application (continued)

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

1. A variance is requested due to extraordinary and exceptional conditions. Unlike the neighboring properties, 2 Longitude is a vacant lot. It does not contain an existing or historic structure. We request a variance for lot occupancy to be from the allowed 35% to 49%. We are also requesting a reduction in the west side setback which is against a neighboring driveway from 7' to 3'. This will allow the new structure to be further away from existing structures from the east and north.

2. 2 Longitude is a smaller lot than adjacent properties.

3. This is in keeping with adjacent properties in character and scale.

4. The proposed variances are in keeping with the historic district. The design reinforces this precedent creating a sympathetic addition to the neighborhood.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

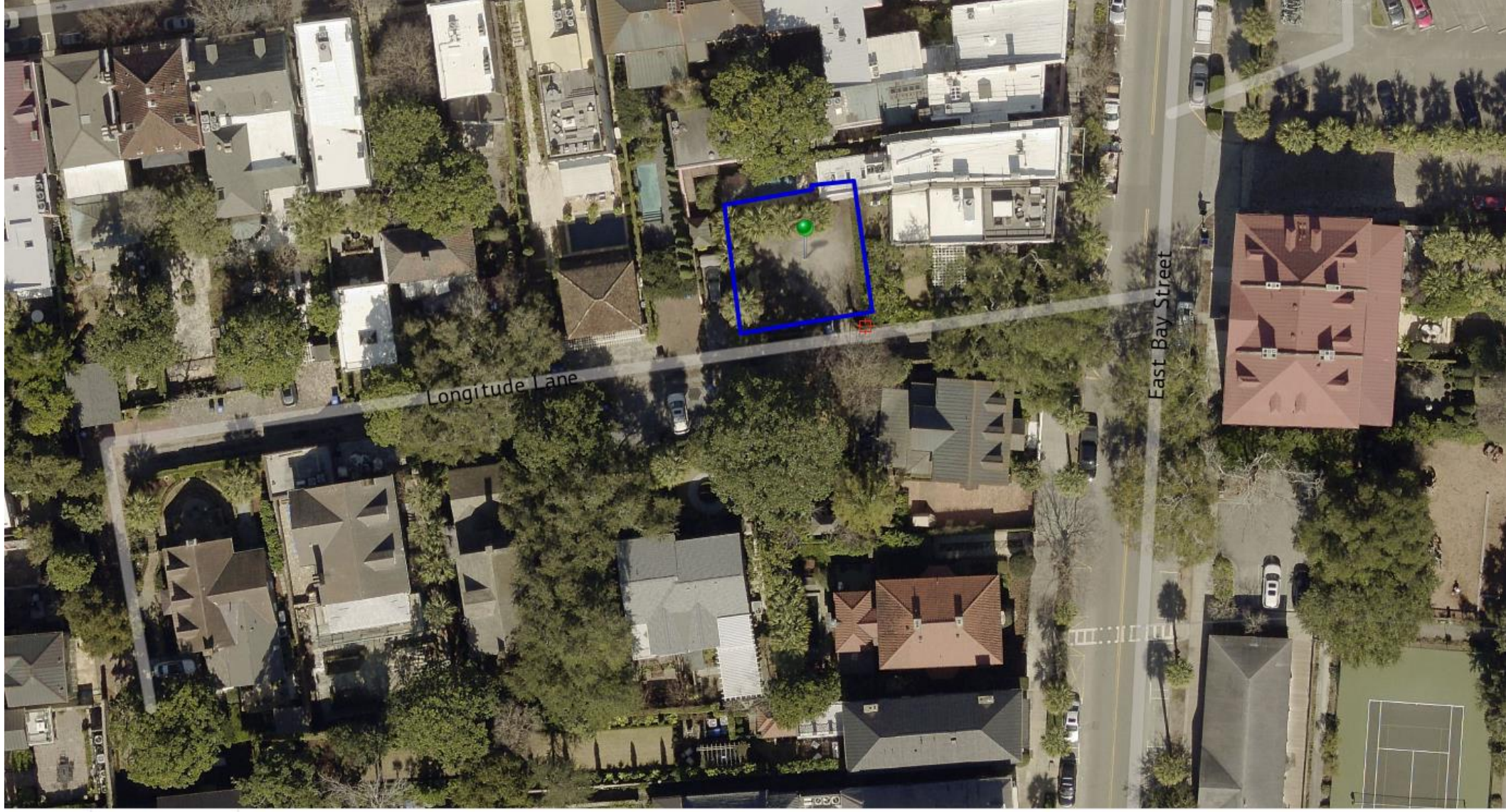
1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.



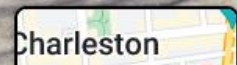




Longitude Lane



Street View - Jan 2022





Thomas & Susan
Ovdracci
TMS 458-13-01-052
Reference Plat Book EA Page 977

SURVEY NOTES

1. Reference Tax Map Number 458-13-01-054
Tax Map Number 458-13-01-124
2. Reference Plat Book EA Page 119
3. Survey requested by: George Molinos
4. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
5. This lot has been checked against area FEMA maps and to the best of this surveyor's knowledge, said lot is located in Flood Zone X Ref. Map No. 4509C0518 J dated 11-17-2004. It is the responsibility of the owner and/or builder to verify the flood zone with the governing municipality prior to design and construction.

- LEGEND
- o 5/8" Iron Rod New
 - 5/8" Iron Rod Old
 - 1" Iron Pipe Old
 - ≡ "x" Mark
 - o Light Pole
 - ▲ Building Corner
 - Brick

LINE	BEARING	DISTANCE
1.1	S 02°45'28"W	2.40'
1.2	S 04°53'09"E	1.70'
1.3	S 89°30'55"E	2.85'
1.4	N 89°30'55"W	12.65'
1.5	N 89°30'55"W	14.81'
1.6	N 87°51'29"W	16.62'

LONGITUDE LANE
(R/W Varies)

LOT 69B
0.057 Acre
2501 Sq. Ft.
(TMS 458-13-01-124)

LOT 69A
0.085 Acre
3711 Sq. Ft.
(TMS 458-13-01-054)

Robert & Margaret
TMS 458-13-01-053
Reference Plat Book EA Page 426

EAST BAY STREET (69.5' R/W)

BOUNDARY SURVEY OF 69 EAST BAY STREET
LOCATED
CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA

SURVEYOR'S STATEMENT

I hereby state that to the best of my knowledge, information, and belief, the survey shown herein was made in accordance with the requirements of the Minimum Standards for the Surveying Profession, and that the survey shown herein exceeds the requirements for a Class A survey as specified thereon and there are no visible encroachments or projections other than shown.

By: 
James G. Pennington, P.L.S. No. 10291

Date: 4/9/22



2851 Ashley River Road
Charleston, SC 29414
Phone (843) 571-5191
Email: PalmettoLandSurveying@gmail.com

PREPARED EXCLUSIVELY FOR:
George Molinos

NO.	REVISION DESCRIPTION	DATE	BY
1	Revised front distance	4/19/22	JGP

FIELD SURVEY DATE: 19 March 2015	FIELD SURVEY BY: JGP/TJ	CLIENT PROJECT NO.: 7149
DRAWING DATE: 21 March 2015	DRAWN BY: JGP	DRAWING NO.: 7149REV

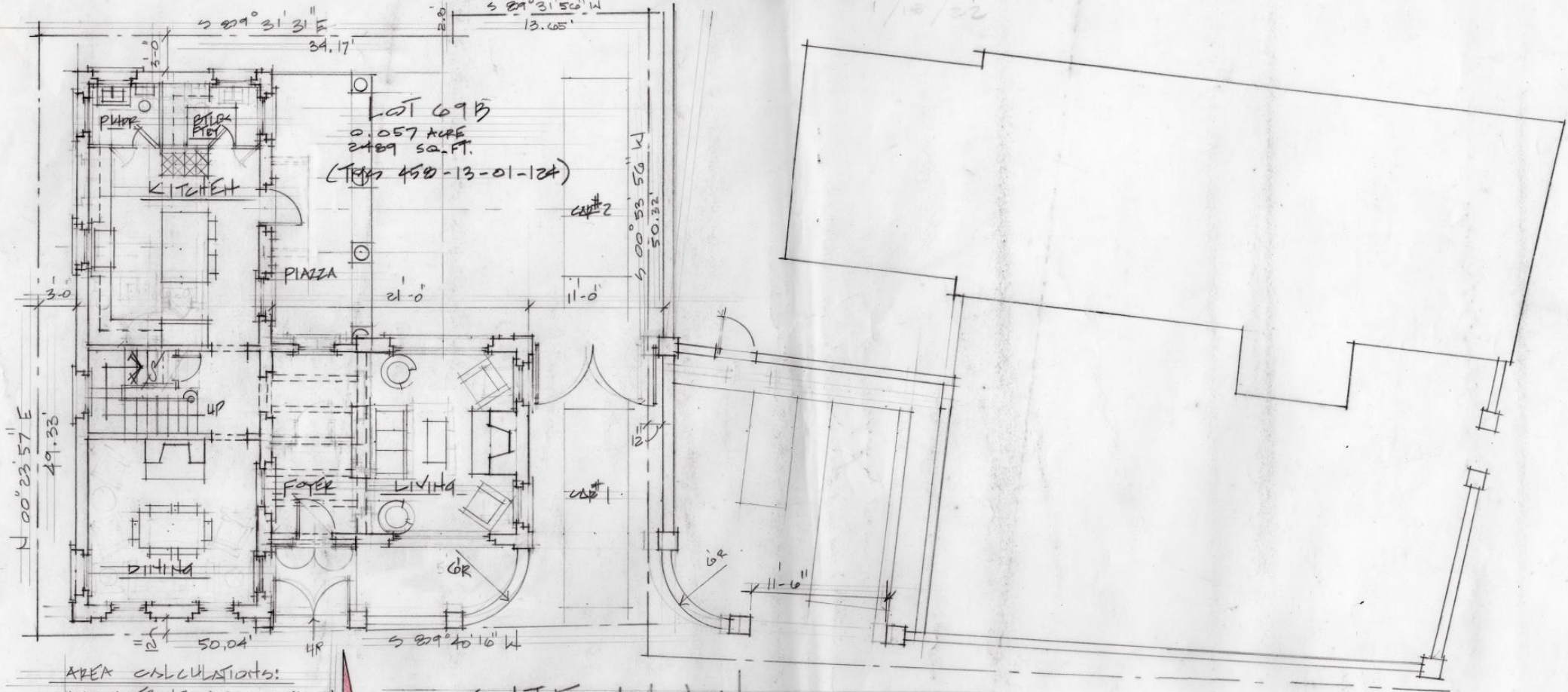


GRAPHIC SCALE: 1"=10'

SHEET
OF
1

RESIDENCE FOR ALISON & MICHAEL BREWER

LOT 69B LATITUDE LANE, CHARLESTON, S.C.



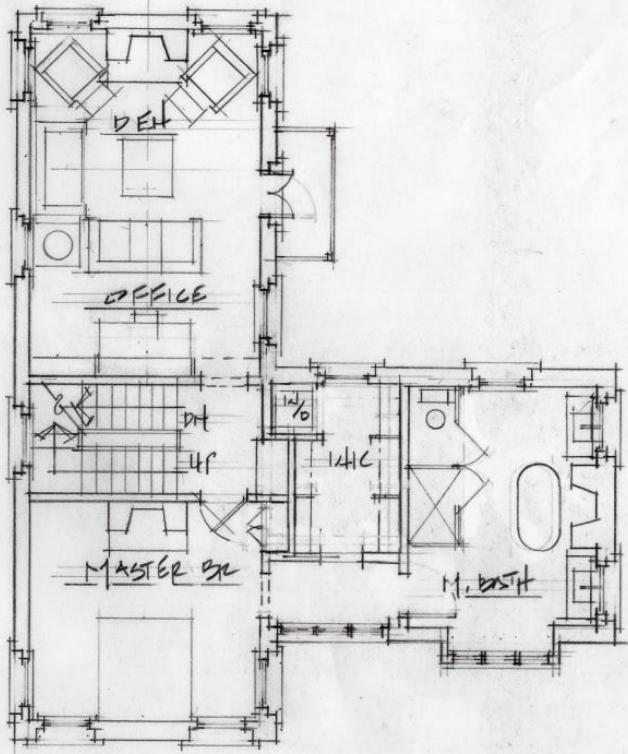
AREA CALCULATIONS:

BLDG FOOTPRINT 1,231 SQ. FT.
LOT 2,489 SQ. FT.
% LOT COVG. 49.5%

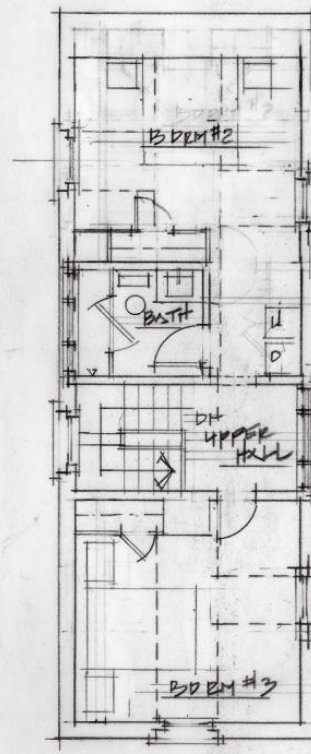
SITE PLAN

MARCH 15, 2022

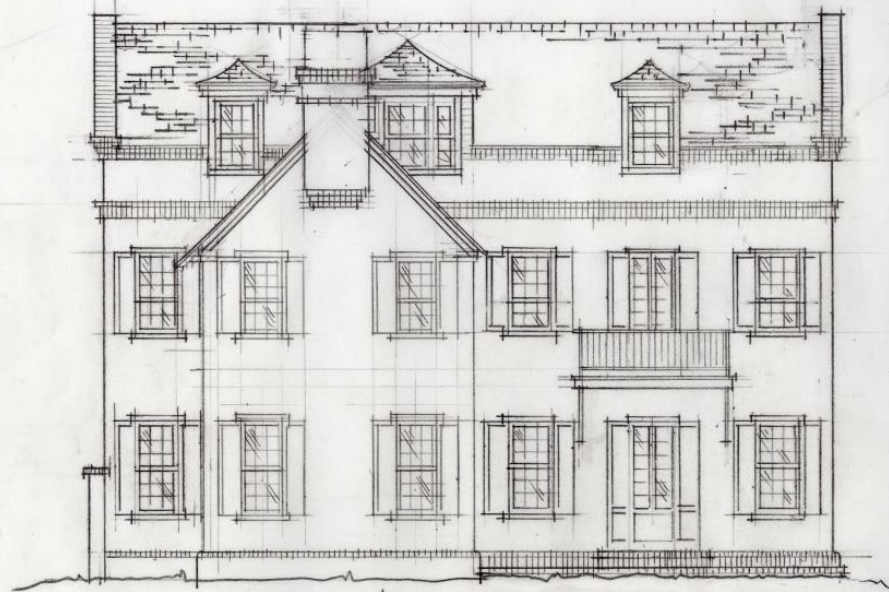
Island
ARCHITECTS



2ND FLOOR PLAN
2/7/22 1/8" = 1'-0"



3RD FLOOR PLAN
1/8" = 1'-0"



RIGHT SIDE ELEVATION

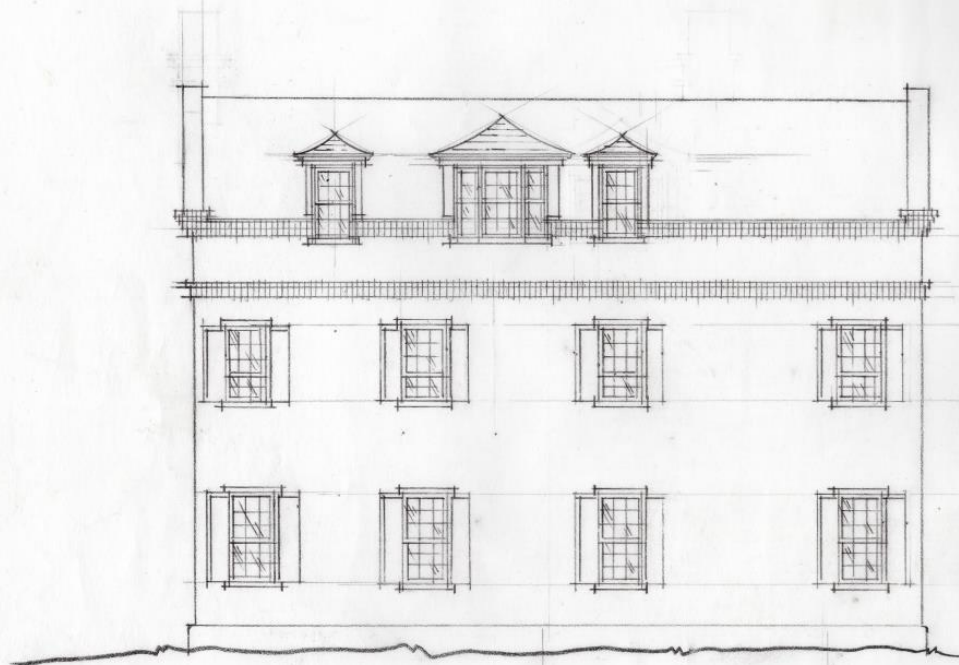


33'-0"
10'-1 1/2"
10'-3 1/2"
14'-1 1/2"
3'-9"

ENTRY ELEVATION
2/7/22

1'-8" x 1'-0"

Island
ARCHITECTS



LEFT (WEST) SIDE ELEVATION

2/7/22

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



843.834.0053

To: Board of Zoning Appeals

Re: 2 Longitude Lane

I have reviewed the proposed zoning variance request by Alison Brewer for 2 Longitude Lane for a 3' west setback and 49% lot occupancy variance. I find this in keeping with the neighborhood and support this variance request.

Sincerely,

Stephanie Schwabe

Name

Address

Date

Dr. Stephanie Schwabe
5 Longitude Lane
Chas., SC 29401

4/28/22



To: Board of Zoning Appeals

Re: 2 Longitude Lane

I have reviewed the proposed zoning variance request by Alison Brewer for 2 Longitude Lane for a 3' west setback and 49% lot occupancy variance. I find this in keeping with the neighborhood and support this variance request.

Sincerely,

Name

Address

Date

Melinda & Dale Allen 2 Longitude Lane 4/29/2022



843.834.0053

To: Board of Zoning Appeals

Re: 2 Longitude Lane

I have reviewed the proposed zoning variance request by Alison Brewer for 2 Longitude Lane for a 3' west setback and 49% lot occupancy variance. I find this in keeping with the neighborhood and support this variance request.

Sincerely,

Name *Barbara Menett* Address *23 Longitude Ln.* Date *4/29/2022*
Charleston
S.C. 29401



To: Board of Zoning Appeals

Re: 2 Longitude Lane

I have reviewed the proposed zoning variance request by Alison Brewer for 2 Longitude Lane for a 3' west setback and 49% lot occupancy variance. I find this in keeping with the neighborhood and support this variance request.

Sincerely,

For Far KCCW

Name Address Date
Jeffrey + Karla Kaneb *63 East Bay Street* *05/01/2022*



To: Board of Zoning Appeals

Re: 2 Longitude Lane

I have reviewed the proposed zoning variance request by Alison Brewer for 2 Longitude Lane for a 3' west setback and 49% lot occupancy variance. I find this in keeping with the neighborhood and support this variance request.

Sincerely,



Name

Address

Date

THOMAS QUADRACCI

73 EAST BAY ST

4/29/22

RECEIVED

MAY 02 2022

CITY OF CHARLESTON
PLANNING DEPARTMENT

To: Board of Zoning Appeals

Re: 2 Longitude Lane

I have reviewed the proposed zoning variance request by Alison Brewer for 2 Longitude Lane for a 3' west setback and 49% lot occupancy variance. I find this in keeping with the neighborhood and support this variance request.

Sincerely,

as shown on plans
marked 4/29/22

on pages 2, 3, 4 (numbers
site plan no date)

Name

Address

Date

Frence Hancock

15 TRIST ST

4/29/2022

RECEIVED

MAY 02 2022

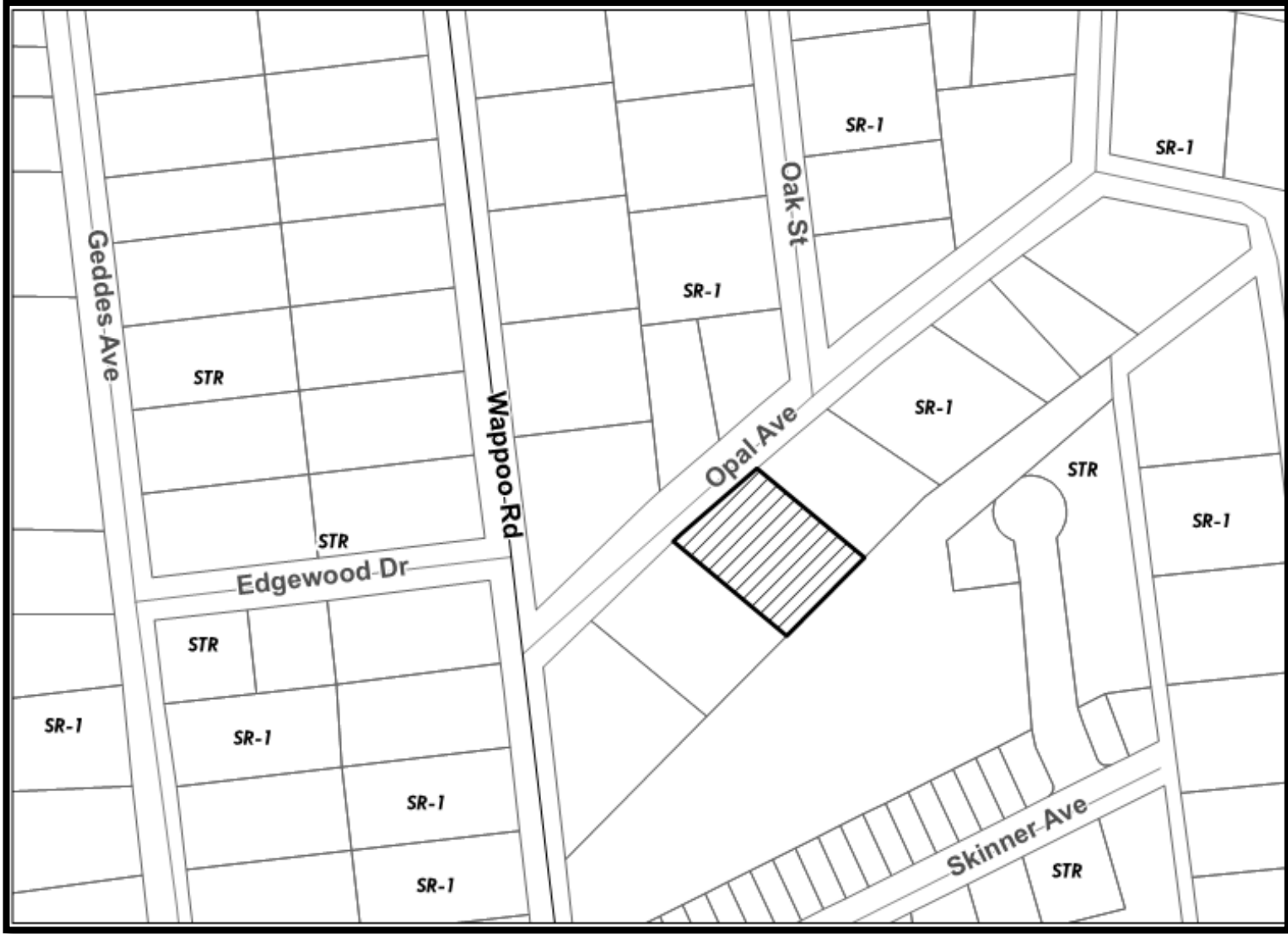
CITY OF CHARLESTON
PLANNING DEPARTMENT

Agenda Item #B-9

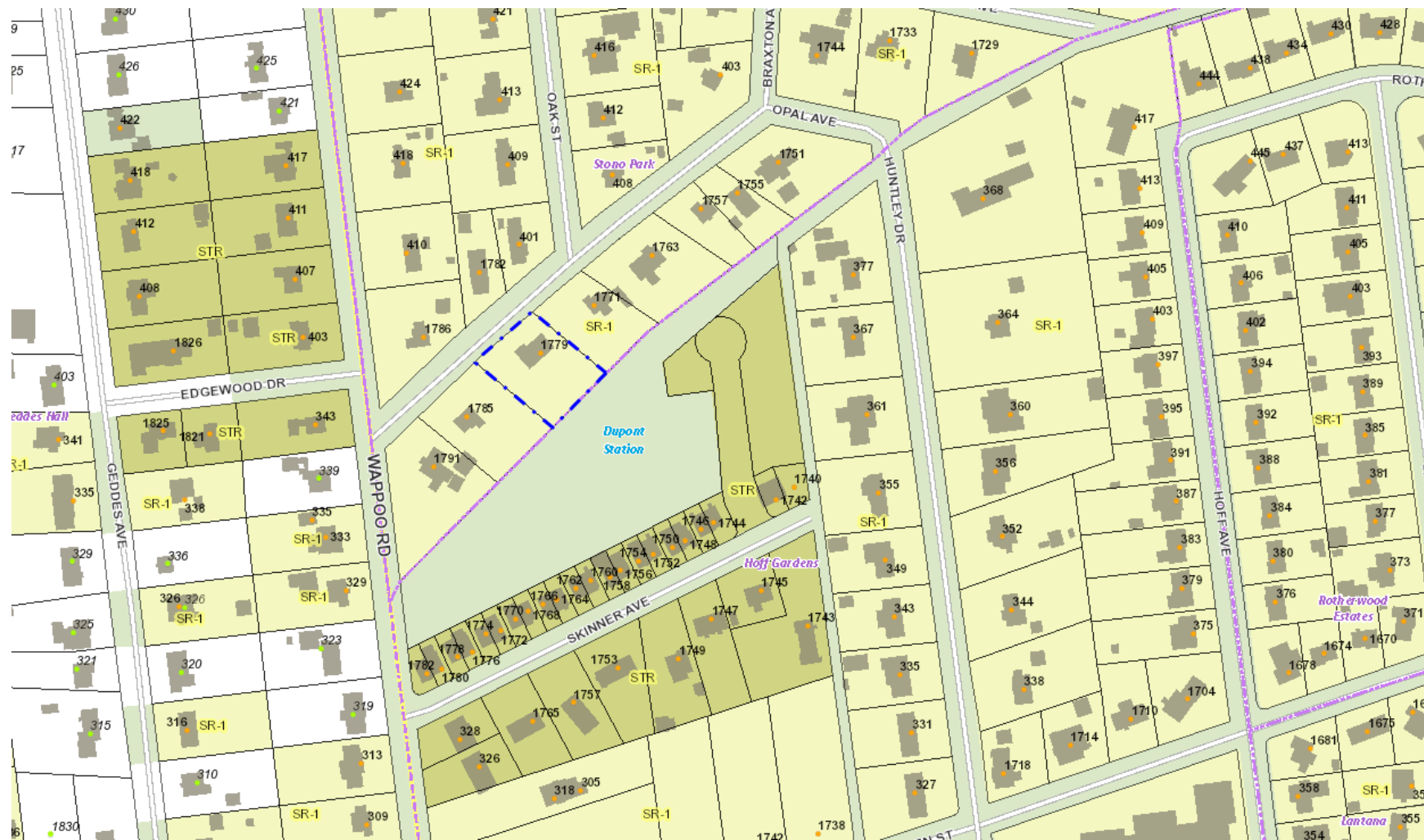
1779 OPAL AVENUE
(DUPONT STATION)
TMS # 350-11-00-077

Request variance from Sec. 54-301 to allow a detached accessory building (3 car garage) with an 11-ft. rear setback (25-ft. required).

Zoned SR-1









Application for Variance, Special Exception, Reconsideration, or Extension to the Board of Zoning Appeals – Zoning (BZA-Z) Page 1 of 2

City of Charleston

Instructions – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: April 19, 2022

Property Address 1779 Opal Ave TMS # 350-11-00-077

Property Owner Kevin Martin and Shelia Warren Daytime Phone 704-609-1056

Applicant Kevin Martin Daytime Phone 704-609-1056

Applicant's Mailing Address 1779 Opal Ave, Charleston, SC 29407

E-mail Address kevin.p.martin@live.com

Relationship of applicant to owner (same, representative, prospective buyer, other) same

Zoning of property SR-1

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)
☒ Check, credit card or cash (make checks payable to the City of Charleston)
☐ **YES or** ☒ **NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Kevin Martin Date April 18, 2022

For office use only
 Date application received _____ Time application received _____
 Staffperson _____ Fee \$ _____ Receipt # _____

BZA-Z Application (continued)

Page 2 of 2

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

The .54 acre property has a 400 year old Live Oak tree that reaches out across the yard. Building the garage per zoning requirements places left front corner into the branches, and may effectively prohibit the long-term growth and beauty of the tree. Moving the garage 14 feet into the setback clears the tree totally. So while not impeding into the grand tree protection circle, we feel it is best for the tree. There is no one living behind the house in adjacent properties that would be affected.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

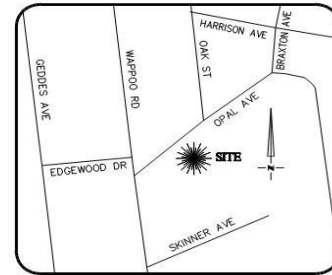
In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

Department of Planning, Preservation & Sustainability 2 George Street Charleston, South Carolina 29401
 (843) 724-3781 www.charleston-sc.gov/zoning

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



SIGNED Jeffrey W. Sawyer
JEFFREY W. SAWYER, S.C. PLS L-26590

LEGEND

- E.I.P. EXISTING IRON PIN
- E.C.M. EXISTING CONCRETE MONUMENT
- S.I.P. SET IRON PIN
- F.P.E. FLOOD PROTECTION ELEVATION
- CLOSURE EXCEEDS 1 INCH in 10,000'
- PROPERTY LINE
- ADJOINER PROPERTY LINE BY DEED OR PLAT
- X-X-X FENCE LINE
- CLEAN OUT
- LIGHT POST
- MAN HOLE
- TELEPHONE PEDISTAL
- WATER METER
- CALCULATED PT
- DRAIN INLET
- FIRE HYDRANT
- TRANSFORMER
- ELECTRIC BOX
- CABLE PEDISTAL
- WATER VALVE
- HVAC
- POWER POLE



VICINITY MAP	CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
Not To Scale	C1	134.81'	2983.45'	2°35'20"	N 52°15'56" E	134.80'

WILLOW PLACE
COMMON AREA



NOTE:

THIS PROPERTY IS ZONED SR-1.

THIS PROPERTY MAY BE SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS WHICH MAY BE OF RECORD OR IMPLIED

FLOOD NOTE:

ACCORDING TO F.E.M.A. F.I.R.M. PANEL # 45019C 0492J, DATED 11/17/2004, THIS PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE X & (AE 11).

TMS: 350-11-00-077



RLA ASSOCIATES, PA

2204 BACONS BRIDGE ROAD
SUMMERVILLE, SC 29485
PHONE (843) 879-9091
FAX (843) 261-9092

PHYSICAL SURVEY

FOR
#1779 OPAL AVE (LOT 112 STONO PARK)

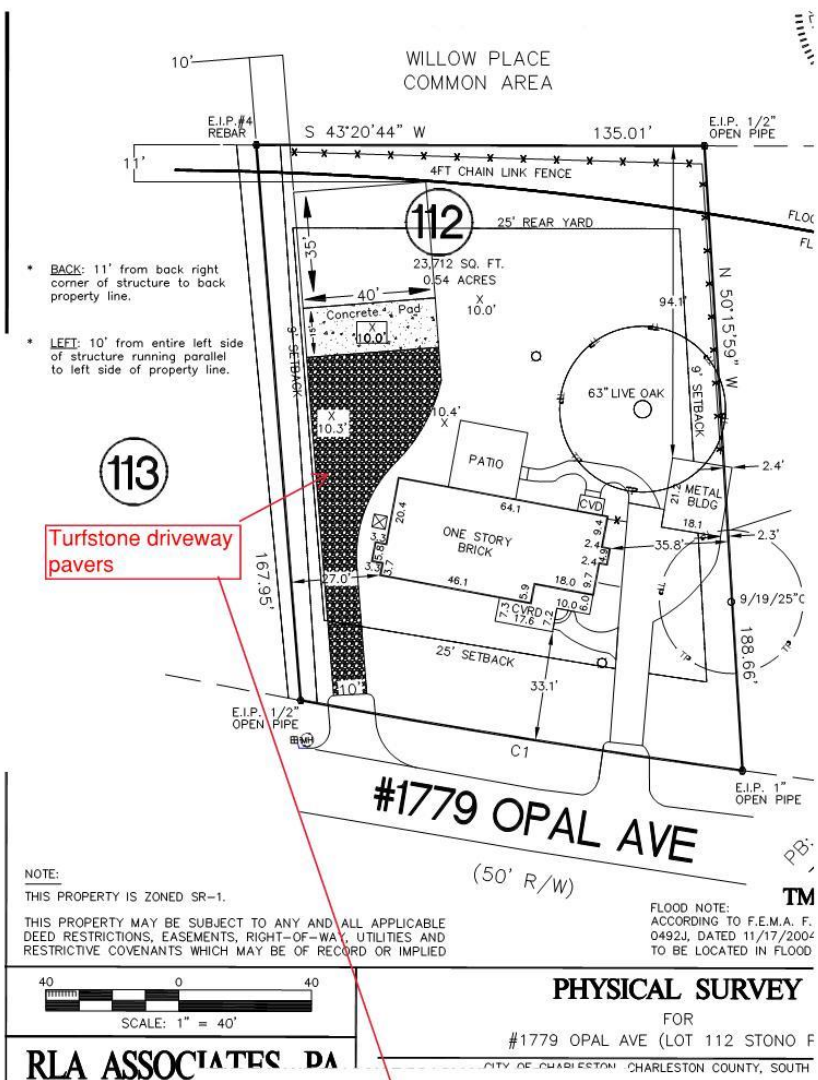
CITY OF CHARLESTON, CHARLESTON COUNTY, SOUTH CAROLINA

PROPERTY OF: WAYNE DALE CONNOR

MAP BOOK E-59 DEED REFERENCE 0793-702

DRAWN BY: MAH

DATE: AUGUST 12, 2020



TURFSTONE

Turfstone is the eco-friendly, permeable option for your project. Boasting a 40/60 ratio of green space to concrete, the Turfstone blocks filter water through the openings while stabilizing surrounding soil to prevent soil erosion.

- * **BACK:** 11' from back right corner of structure to back property line.
- * **LEFT:** 10' from entire left side of structure running parallel to left side of property line.

113
Turfstone driveway pavers

1779 Opal. No houses behind the property



Proposed garage built 14 feet into setback (approx., Scale drawings follow)



Front view of the 400 year old Live Oak tree



Back view of the tree



Back view of the tree



Area of proposed garage, shed will be removed.



Area in front of proposed garage, shed will be removed



Area of proposed garage, shed will be removed

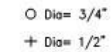


14 foot high eve location if built with zoning variance, clearing the tree



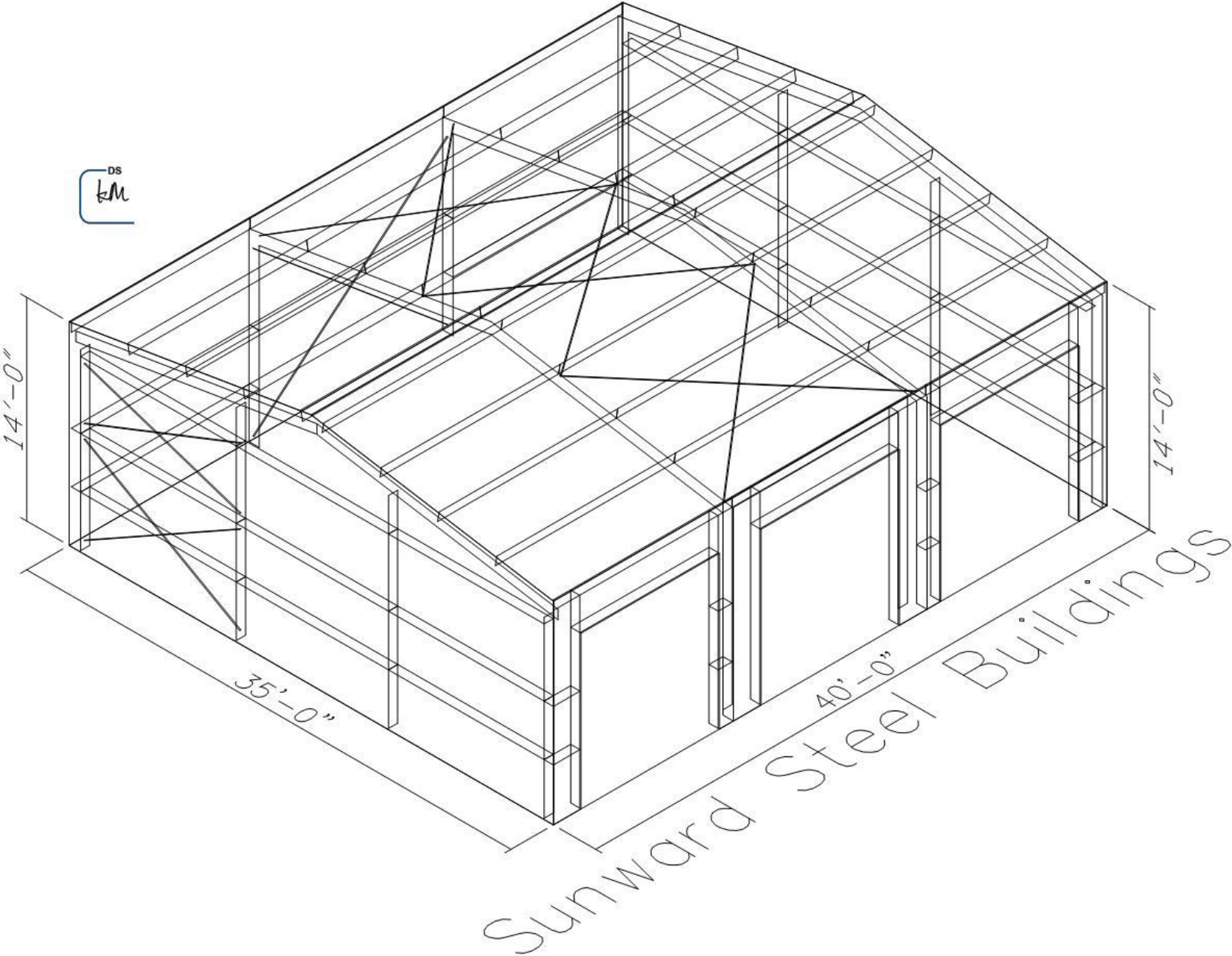
14 foot high eve location if built with zoning variance, clearing the tree





NOTE: ALL BASE PLATES AT ELEVATION 100'-0" (UNLESS NOTED)

Sunward Steel Buildings



April 30, 2022
City of Charleston Zoning Division
2 George Street
Charleston, SC 29401

To Whom it May Concern,

This letter stands as my approval for Kevin Martin and Shelia Warren, at 1779 Opal Ave, Charleston, SC, to encroach 14 feet into the 25-foot rear setback of their property to build a garage. I understand that the rear of the garage will be 11 feet from the rear property line and there will be no encroachment into the side setback at all, being at least 10 from the side line.

Thank you,



Seana Flynn
1785 Opal Ave
Charleston, SC 29407

May 9, 2022
City of Charleston Zoning Division
2 George Street
Charleston, SC 29401

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Thank you,



Uriel Estrada and Alicia Silva
1782 Opal Ave
Charleston, SC 29407

May 9, 2022
City of Charleston Zoning Division
2 George Street
Charleston, SC 29401

To Whom it May Concern,

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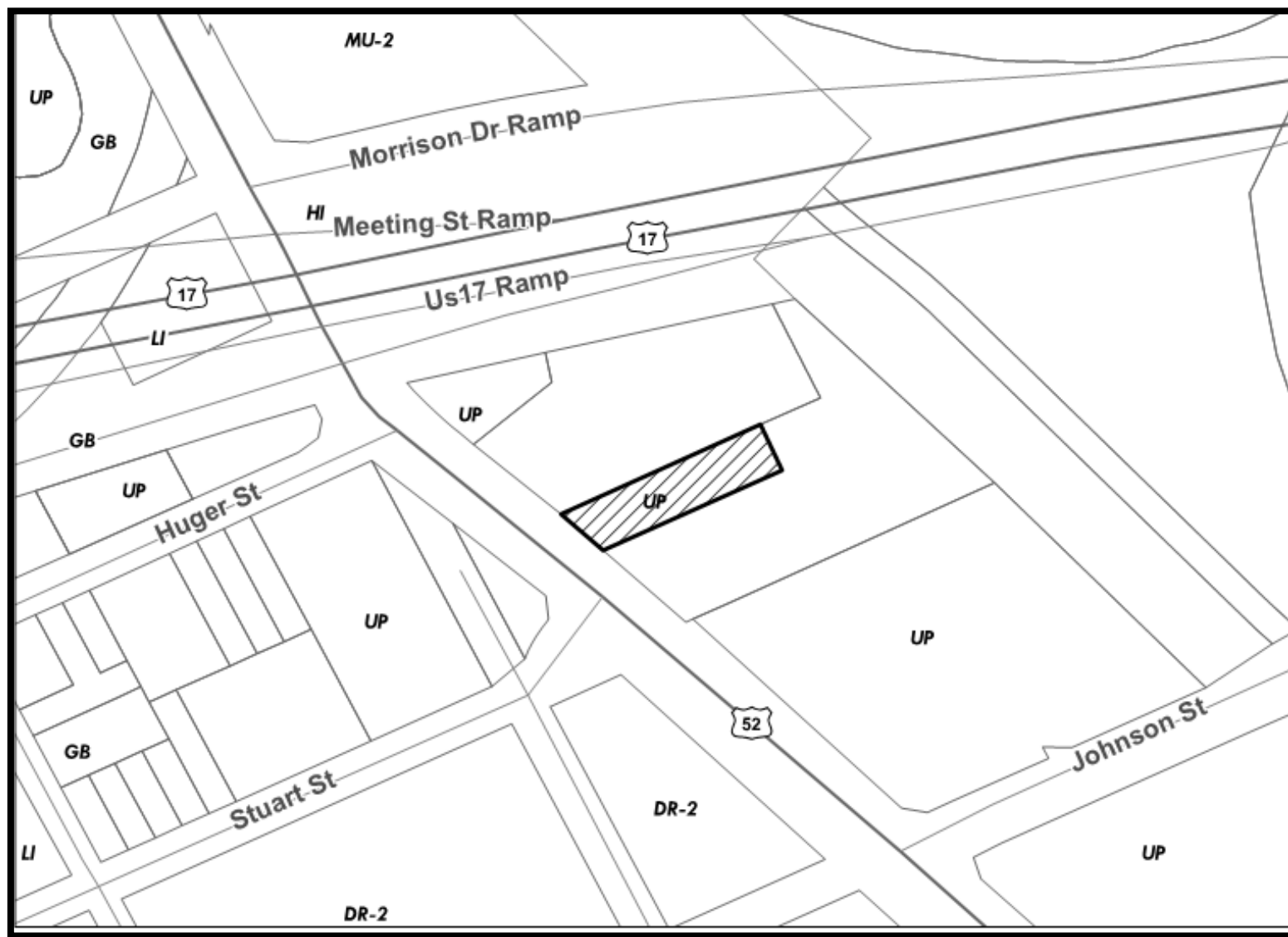
Martin Levisen
1771 Opal Ave
Charleston, SC 29407

Agenda Item #B-10

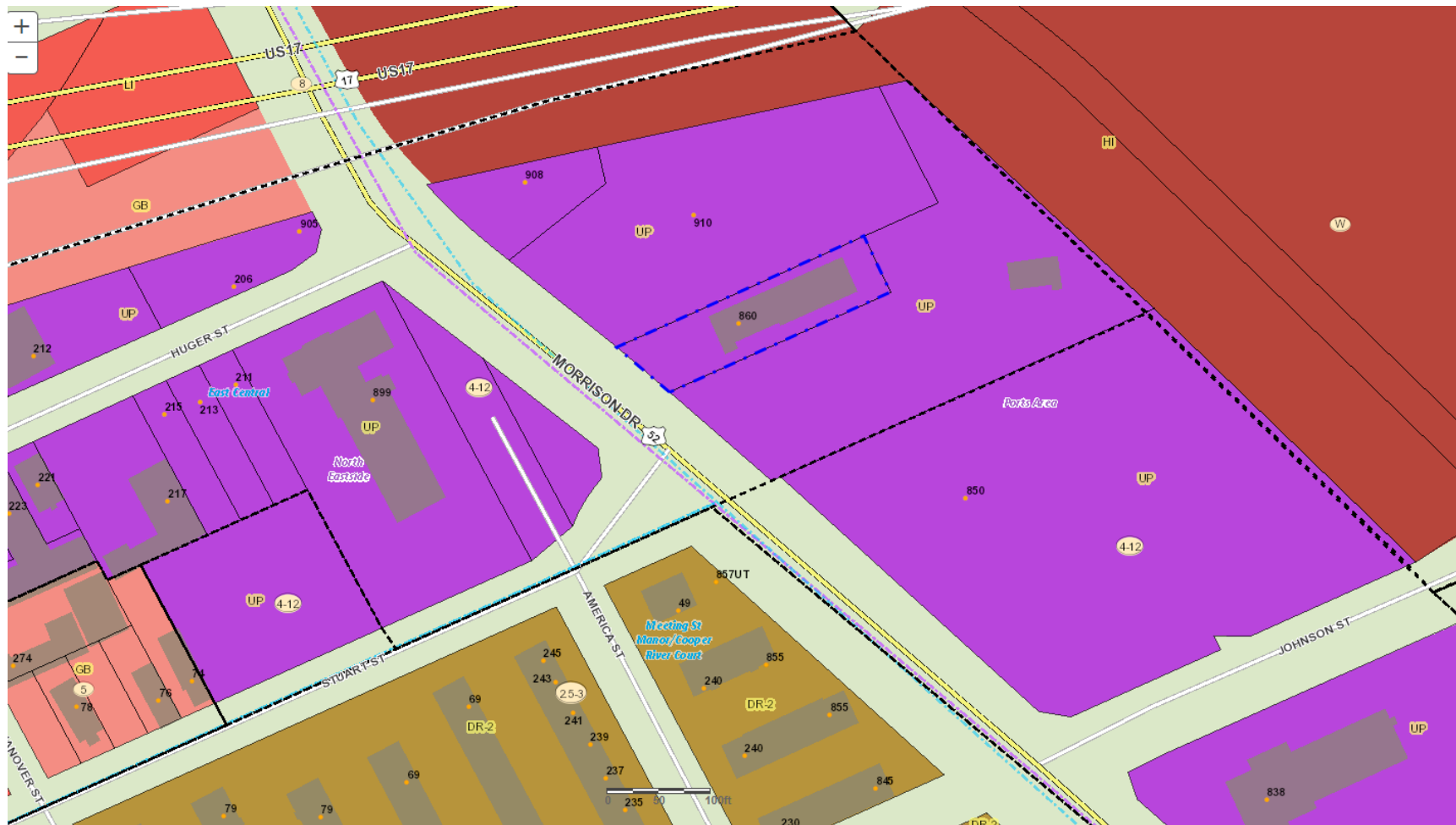
860 MORRISON DRIVE

TMS # 459-02-00-005

Request special exception under Sec. 54-220 to allow a 150-unit accommodations use in an UP-A (Upper Peninsula-Accommodations) zone district.









Application for Variance, Special Exception, Reconsideration, or Extension to the Board of Zoning Appeals – Zoning (BZA-Z)

Page 1 of 2

City of Charleston

Instructions – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: May 17, 2022

Property Address 860 Morrison Drive TMS # 459-02-00-005

Property Owner ODP Hotel Owner, LLC Daytime Phone 843-532-4671

Applicant DSM Real Estate Partners (c/o SeamonWhiteside) Daytime Phone 843-884-1667

Applicant's Mailing Address 501 Wando Park Blvd. Suite 200 Mount Pleasant, SC 29464

E-mail Address hyoung@seamonwhiteside.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Prospective Buyer

Zoning of property Upper Peninsula (UP)

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
☒ Plans or documents necessary to show compliance with special exception requirements (3 sets)
☒ Check, credit card or cash (make checks payable to the City of Charleston)
☐ **YES or NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but **very helpful** information:

- ☒ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 4/18/2022

For office use only

Date application received _____ Time application received _____
 Staffperson _____ Fee \$ _____ Receipt # _____

BZA-Z Application (continued)

Page 2 of 2

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

This special exception request is for a 150-key full-service hotel within the Accommodation Overlay Zone.

Please see attached submittal package, which includes the required documentation to demonstrate compliance with the

relevant special exceptions requirements of the Zoning Ordinance (site plans, floor plans, building elevations, traffic study,

exhibits, and a detail written assessment report).

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

Department of Planning, Preservation & Sustainability 2 George Street Charleston, South Carolina 29401
 (843) 724-3781 www.charleston-sc.gov/zoning



March 4, 2022

Mr. Lee Batchelder
Zoning Administrator
City of Charleston
Department of Planning Preservation and Sustainability
2 George Street, Suite 3100
Charleston, SC 29401

860 Morrison Drive
Morrison Yard Phase 4
TMS 459-02-00-005

Thanks you for reviewing our submittal to the Board of Zoning Appeals-Zoning Special Exception Request. Below you will find the written narrative addressing the items required for an Accommodations use to be allowed within the Accommodations Overlay Zone.

Sec. 54-220. Accommodations Overlay Zone.

- a. Intent. The A Overlay Zone is intended to identify those areas within the City limits where accommodation uses are allowed. Accommodation uses are prohibited except within the A Overlay Zone, with the exception of bed and breakfasts that are approved in accordance with the provisions of Section 54-208 or 54-208.1, and short term rentals that are approved in accordance with the provisions of Section 54-227. The City places a high value on the preservation of the character of its residential neighborhoods. Potential negative impacts affecting residential neighborhoods shall be avoided or minimized to the greatest extent possible.
- b. Permitted Uses. In any Accommodation overlay zoning district, land may be used and buildings or structures may be erected, altered or used for any purpose allowed by the underlying zoning district as listed in Articles 2: Part 3, and the following uses subject to approval of the Board of Zoning Appeals:

Accommodation Uses. The Board of Zoning Appeals may permit accommodation uses as an exception where it finds that:

- a. (a) the accommodations use will not result in a net loss of dwelling units that have been occupied within five years of the date of application for the exception; provided however, the BZA-Z may approve the alteration or replacement of such existing dwelling units on the same site as the accommodations use, or within a radius of one quarter (¼) mile from the site if the proposed off site location does not result in an over concentration of low income households, as defined by the U.S. Department of Housing and Urban Development, as adjusted by the Department of Housing and Community Development; and provided further, the BZA-Z shall require any such alteration or replacement to include dwelling units of substantially the same size and type of those being altered or replaced and shall require that no certificate of occupancy shall be issued for the accommodations uses until either a certificate of occupancy has been issued for all dwelling units being altered or replaced or irrevocable bonds or letters of credit in favor of the City in amounts equivalent to one hundred twenty-five (125%) per cent of the costs to complete construction or renovation of the dwelling units, as determined by the Chief Building Inspector, has been filed with the City. **No housing units will be eliminated by the proposed facility.**

- (b) the accommodations use, if located in the Accommodations Overlay on the peninsula, will not reduce or displace more than 25% of office space that has been used for such purpose within five years of the application for the exception; **No office space will be displaced by the project.**
- (c) the accommodations use, if located in the Accommodations Overlay on the peninsula, will not displace more than 25% of the linear frontage of existing ground floor storefront retail space on the property; **No storefront retail will be displaced by the project.**
- (d) the location of the accommodations use will not significantly increase automobile traffic on streets within residential districts; The property is located directly on Morrison Drive, with convenient access south to commercial, tourist and entertainment areas, and north to Interstate 26, without crossing through residential districts. **Traffic counts of the area have been analyzed. Please see the Traffic Study prepared by Bihl Engineering, provided as an attachment to this submittal.**
- (e) the location of the accommodations use will contribute to the maintenance, or creation, of a diverse mixed-use district; The immediate area includes existing and under construction office, residential, restaurant, and other commercial uses, which will be complimented by the addition of a hotel use. **This project is being proposed as part of the overall master plan for Morrison Yards, a mixed use project of office, retail, multi family, and amenities.**
- (f) the total square footage of interior and exterior floor area for restaurant and bar space in the proposed accommodations use, including restaurant/bar patron use areas, bar areas, kitchen, storage, and bathroom facilities, shall not exceed 12 percent of the total interior, conditioned floor area in the accommodations use, except that each accommodations use shall be permitted to exempt from the calculation of total restaurant floor area one interior, ground floor restaurant tenant space if the total tenant space does not exceed 2,000 square feet, the restaurant tenant does not serve alcoholic beverages, and the exempt restaurant tenant space is clearly labeled with these restrictions on the floor plans submitted with the application for this zoning special exception; **The total square footage of the interior floor area of the restaurant/bar patron uses areas, bar areas, kitchen, storage, and bathroom facilities is 9,800 SF, which is approximately 8.3% of the total interior conditioned floor area in the facility. The total square footage of the Accommodations Use is 117,500 SF.**
- (g) the accommodations use proposed guest drop off and pick up area(s) is located outside the public right-of-way and on the property utilized for the accommodations use if the accommodations use contains more than 50 sleeping units, and if 50 sleeping units or less, the proposed guest drop off and pick up area(s) are located outside the public right-of-way if feasible, and the location and design of the guest drop-off and pick-up area(s) has been reviewed by the Department of Traffic and Transportation and determined to be safe and not be an impediment to traffic and that every effort has been made to minimize traffic impacts; **See site plan exhibits. The vehicular access to the property and guest drop off area are within a shared driveway easement area leading to the on-site parking and not in the Morrison Drive public right of way.**
- (h) the total number of sleeping units within the buildings or structures on the lot or parcel in which the accommodations use is located is equal to or exceeds ten (10) sleeping units. **The guestroom count of the hotel is 150 rooms.**
- (i) within areas of the accommodations overlay zone designated as "A-1", "A-2", "A-3", "A-4", "A-5", "A-6", or "A-7" on the zoning map, the number of sleeping units within the buildings or structures on the lot or parcel in which the accommodations use is located shall not exceed 50 in areas designated "A-1"; 180 in areas designated "A-2"; 225 in areas designated "A-3"; 100 in areas designated "A-4"; 150 in areas designated "A-5"; 69 in areas designated "A-6"; and 175 in areas designated "A-7"; provided, however, that within the portion of the area designated "A-1" bounded by King Street on the west, Meeting Street on the east, Mary Street on the south and Line Street on the north (the "Full-Service Corridor"), the number of sleeping units within the buildings or structures on the lot or parcel in which the accommodations use is located may exceed 50, but

- shall not exceed 250, if the accommodations use qualifies as a Full-Service Hotel, meaning that the accommodations use provides 20,000 or more square feet of meeting, conference and banquet space of which 15,000 square feet thereof is contiguous, an on-site restaurant that serves breakfast, lunch and dinner seven days a week and other services such as a concierge, a spa/health club, laundry, turndown service, newspaper delivery, security personnel and airport shuttle; and in no event shall any accommodations use on the peninsula exceed 250 sleeping units; **Confirmed.**
- (j) the proposed accommodations use will not share any of its buildings, structures, facilities, or operations with another accommodations use; **Confirmed.**
 - (k) (1) The proposed accommodations use incorporates meeting and conference space at a ratio of 400 square feet per 10 sleeping units, or fraction thereof, with respect to the first 150 sleeping units, and incorporates meeting and conference space at a ratio of 1000 square feet for every 10 sleeping units, or fraction thereof, exceeding 150 sleeping units. In either case, at least 75% of the meeting and conference space shall be contiguous; **See attached exhibit for conference space layout, size, and location that meets design requirements.**
 - (2) Notwithstanding subsection k(1) hereof, if the accommodations use contains more than 50 sleeping units and is located in the Full-Service Corridor, the provisions of subsection (i) hereof shall govern the square footage of required meeting and conference space; **Not Applicable.**
 - (l) the proposed accommodations use will not result in there being more than eight (8) Full-Service Hotels on the peninsula, inclusive of those Full-Service Hotels existing on the peninsula and those with approved special exceptions as of the effective date of the ordinance from which this section derives; for purposes of this subsection (l) only, a Full-Service Hotel means a Full-Service Hotel as defined in subsection (i) having in excess of 150 sleeping units; and **Not Applicable.**
 - (m) to assist in providing affordable housing opportunities for its employees, the applicant for the accommodations use commits to contribute to the City of Charleston Affordable/Workforce Housing Account a fee payable upon the issuance of a Certificate of Occupancy, calculated as follows: \$5.10 per square foot of area used for sleeping units and the hallways adjacent to sleeping units, stairwells and elevators. **Understood.**

In making the findings required in subsection b.1, the Board of Zoning Appeals-Zoning shall consider the following information to be provided by the applicant in site plans, floor plans and building elevations that will govern the construction of the building in which the accommodations use is located, along with a detailed written assessment report to be submitted with the application:

1. The number of existing dwelling units on the property, including units on the property that were occupied as dwelling units within five years of the date of the application for the exception, the type of unit (rental or owner-occupied; one-family detached; one-family attached; two-family or multi-family; occupied or unoccupied), by income range of the most recent occupant(s), the rental price for rental units and market price for owner occupied units relative to the area median income figures that are determined annually by the U.S. Department of Housing and Urban Development and adjusted by the City of Charleston Department of Housing and Community Development, or its successor, the physical condition of the units (sound, deficient, deteriorated or dilapidated), the square footage and number of bedrooms in each unit, and if the units are proposed to be physically altered or replaced, a description and plan showing the square footage and number of bedrooms in the altered or replaced units, and their location; **No housing units have been present in the last 5 years. The hotel site is the former location of a tile and stone store and storage yard.**
2. The effect of the physical alteration or replacement or relocation of dwelling units on the housing stock of a particular type on the property and whether a condition should be attached to a special exception

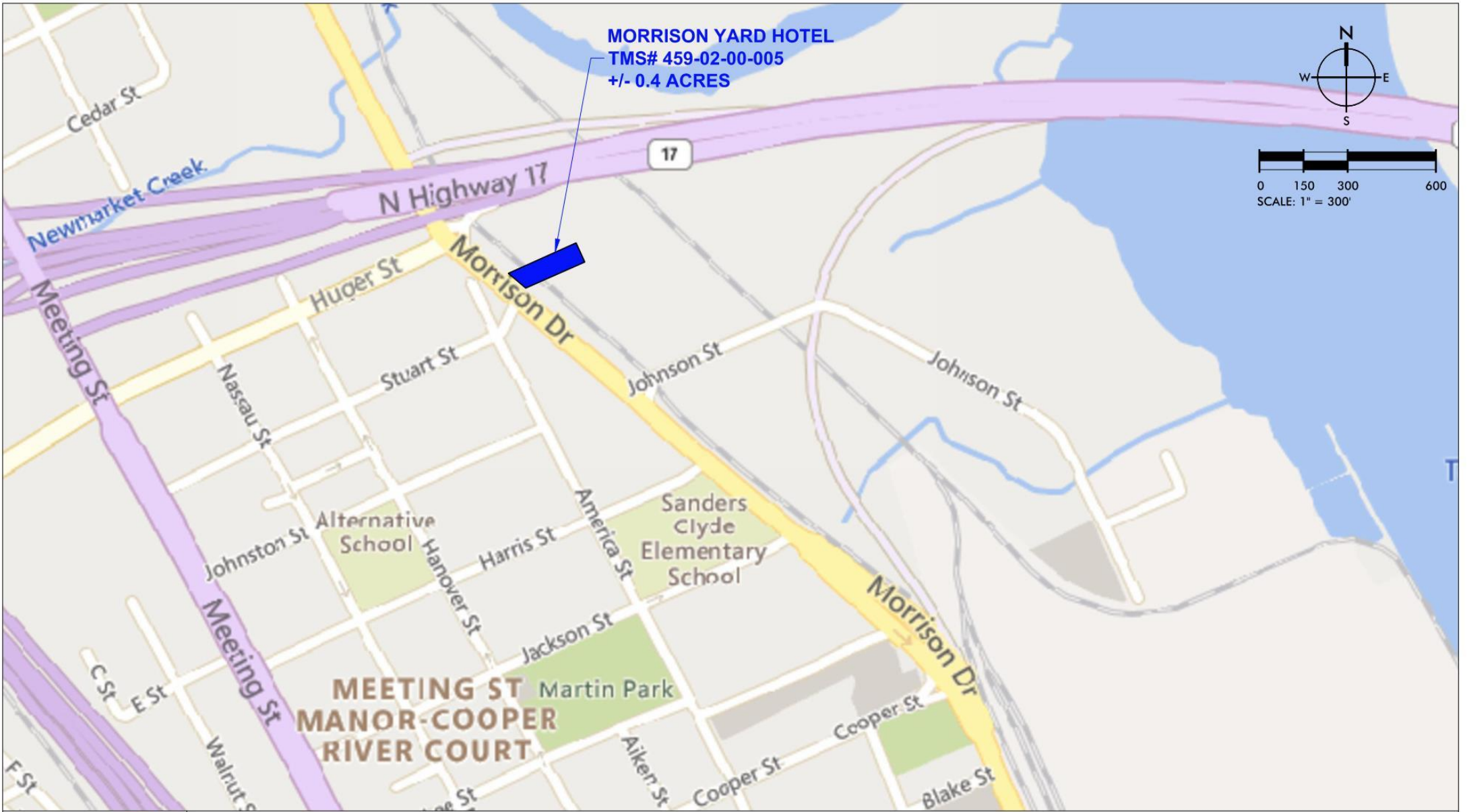
- approval for the accommodations use requiring a minimum percentage of the dwelling units on the property or replaced off-site to remain affordable based on the annually updated median area income values; **No housing units on the property.**
3. The presence of office space on the property, or the presence of spaces on the property that were occupied as office spaces within five years of the date of application for the exception; **No office space has been present in the last 5 years.**
 4. The linear frontage of existing ground floor storefront retail space on the property; **No existing storefront retail exists on the property. See existing condition photos.**
 5. The location and design of guest drop off and pick up areas for the accommodations use; **See attached site plan.**
 6. The cumulative number of vehicle trips generated by the proposed accommodations use and other accommodations uses that are either existing or approved within an area identified by the Department of Traffic and Transportation, the traffic circulation pattern serving the accommodations use and efforts made to minimize traffic impacts; **See attached TIA from Bihl Engineering.**
 7. The distance of the main entrance and parking entrance of the accommodations use from a road classified as an arterial or collector road; The property is located directly on Morrison Drive, an arterial road. **See attached exhibit.**
 8. The land uses within five hundred feet (500') of the accommodations use, to include the location, square footage, and number of rooms in existing accommodations uses and accommodations uses that have been approved; The surrounding area includes existing and under construction office, residential, restaurant, and other commercial uses. **No accommodations exist or are approved within 500' of the project. See exhibit of existing conditions for additional information as well as the predominant surrounding land use exhibit included with the submittal.**
 9. The proximity of residential districts to the accommodations use; **See attached predominant land use exhibit identifying site location and distance to the adjacent residential district.**
 10. The accessory uses proposed for the accommodations use, such as restaurants, spas, bars, pools and the like, in terms of their location, size, impact on parking, traffic generation, noise or odors in or to a residential district; **See attached exhibit of floor plans identifying ancillary restaurants and pool uses within the hotel, as well traffic impact analysis. These accessory uses are expected to principally serve hotel guests and nearby office and residential users and will not generate significant additional traffic on Morrison Drive. The nearest residential district is separated by Morrison Drive, a broad right of way, and the top floor restaurant is oriented to the East, away from Morrison Drive and residential areas, which will not have any material impacts.**
 11. The demonstrated provision of off-street parking at the rate of two spaces that meet the design requirements of section 54-318 for each three sleeping units, provided however, the utilization of mechanical or other means of parking that meet the ratio of two spaces for each three sleeping units shall be allowed; **See attached exhibit identifying parking locations. The proposed parking is located under the building with lift service. However, the development team is also exploring the option of a long term lease (compliant with City zoning requirements for off-site parking) of adjacent land owned by Charleston Water Systems to create a surface valet parking lot, accessed directly through the internal hotel driveway, to provide some or potentially all of the parking needed for the hotel and accessory uses in lieu of underground parking.**
 12. The presence of industrial uses and uses which use, store, or produce toxic or hazardous materials in quantities in excess of those specified by the EPA listing of toxic and hazardous materials, within five hundred feet (500') of the accommodations use; **No known uses have been identified within 500'.**



13. The commitment to environmental sustainability and recycling; The owner of the facility will have separate containers for trash and for recyclables; the owner is committed to sustainability and will be investigating energy efficient mechanical systems, large windows for natural daylight, and LED lighting
 14. The distance of the accommodations use from major tourist attractions; The facility is +/- 3,170 feet from King Street, +/- 7,400 feet from the Charleston Aquarium, +/- 6,870 feet from the Charleston Visitor Center, and +/- 5,800 from the Aiken Rhett House
 15. The distance of the accommodations use from existing or planned transit facilities; Two existing CARTA bus shelters are located in the immediate vicinity of the project. One is located on the East side of Morrison Drive for travel heading northbound and the second is located on the West side of Morrison Drive for travel heading southbound.
 16. The long term provision of on- or off-site parking for employees who drive vehicles to work, including an estimate of the number of employees that will drive to work during the maximum shift and the location of parking spaces to be provided, and the demonstrated provision of free transit passes or other incentives to encourage employee use of public transportation; Seventeen employee parking spaces will be provided on site, subsidized (at least 35%) CARTA passes will be provided to employees using public transportation, and bicycle storage and other facilities to encourage alternative transportation methods will be incorporated into the building. The expected peak shift number of employees is expected to be 34 employees, not more than half of whom are expected to drive to work.
 17. The number of sleeping units proposed as part of the accommodations use; The new Hotel will be a 150 guestroom hotel.
 18. The provision of shuttle bus services to and from the Historic Districts by accommodations uses with more than 50 sleeping units located outside the area designated "A-1" through "A-6" on the zoning map; As part of the amenity package for the hotel, a shuttle will be provided for guest usage.
 19. The commitment to make affirmative, good faith efforts to see that construction and procurement opportunities are available to MBEs (minority business enterprises) and WBEs (women business enterprises) as outlined in section 2-268 (e)(1), (2), and (3) of the Code of the City of Charleston; A member of the project team includes Bihl Engineering, a woman owned business certified as a DBE by the State of South Carolina through the South Carolina Unified Certification Program(SCUCP). As we continue through the project, the development group will make good faith efforts to reach out and use eth DBE's and WBE's through its consultants, contractors, and vendors.
 20. The commitment to make affirmative, good faith efforts to hire personnel, representative of the population of the Charleston community, at all employment levels. The development team commits to make affirmative, good faith efforts to hire personnel, representative of the population of Charleston community, at all employment levels. With the large size of the project, the development team will be adding over 100 job opportunities to Charleston residents. The development team will host a job fair for the East Side Community.
- d. Violations: In addition to any remedies otherwise available to the City under State law or the City Code, a violation by the owner or operator of the accommodations use of any provisions or conditions of an exception granted hereunder, to include any deviation from the plans and written assessment as required by subsection c. hereof, shall subject the owner or operator of the accommodations use to having its business license and/or certificate of occupancy revoked.
- e. Applicability: The provisions of this Section 54-220 shall apply to special exceptions for accommodations uses granted by the Board of Zoning Appeals-Zoning after May 28, 2019, it being the intent of City Council that special exceptions approved by the Board of Zoning Appeals-Zoning prior to May 28, 2019 be entitled to and governed by the vested rights provisions accorded by Article 9, Part 5 of this Chapter. The provisions of this Section 54-220 shall not apply to Planned Unit Developments that include accommodations uses as an authorized use that were approved as of May 28, 2019.

Matt White

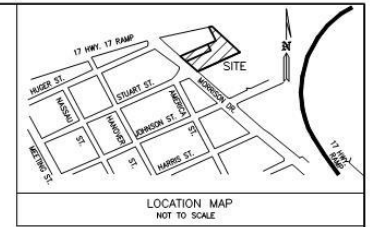
DSM Real Estate Partners



MORRISON YARD HOTEL
860 MORRISON DRIVE
PROJECT #: 8819
DATE: 4/18/2022
SCALE: 1" = 300'

PROJECT LOCATION MAP

US HWY. 17 RW VARIES



REFERENCES:

1. PLAT BY E.C.E.S., INC. DATED JAN. 25, 1989, RECORDED IN CHARLESTON COUNTY ROD OFFICE IN PLAT BOOK BU PAGE 197
2. PLAT BY E.C.E.S., INC. DATED JUNE 7, 1990, RECORDED IN CHARLESTON COUNTY ROD OFFICE IN PLAT BOOK B2 PAGE 176
3. PLAT BY H&B SURVEYORS, LLC DATED JULY 28, 2008, RECORDED IN CHARLESTON COUNTY ROD OFFICE IN PLAT BOOK L09 PAGE 0034
4. DEED FILED MAY 1, 2001, IN CHARLESTON COUNTY ROD OFFICE IN DEED BOOK F370 PAGE 056

NOTES:

1. AREA DETERMINED BY COORDINATES
2. BASED ON INTERPRETATION OF FEMA FLOOD INSURANCE RATE MAPS NUMBER 45019C 0512 K DATED JANUARY 29, 2021, THE PROPERTIES SHOWN HEREON LIE IN FLOOD ZONES AE (ELEV. 11) AND AE (ELEV. 12)
3. THE ABSENCE OR PRESENCE OF U. S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS HAS NOT BEEN DETERMINED BY THIS SURVEY
4. THERE IS NO OBSERVABLE EVIDENCE OF THE LOCATION OF CEMETERIES OR BURIAL GROUNDS ON THIS PROPERTY. SUBSURFACE CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING ANY SUBSURFACE CONDITIONS THAT MAY AFFECT THE USE OR FURTHER DEVELOPMENT OF THIS PROPERTY.

LEGEND

- CP COMPUTED POINT
- FFE FINISHED FLOOD ELEVATION
- GW GUY WIRE
- IRF IRON REBAR FOUND
- IRS IRON REBAR SET
- LP LIGHT POLE
- MNS MAG NAIL SET
- PP POWER POLE
- SP SERVICE POLE
- WM WATER METER
- XS.1 EXISTING ELEVATION
- FENCE
- OHP OVERHEAD POWER LINE

TREE LEGEND

- BB BOTTLE BRUSH
- CL CLUSTER
- O OAK
- OL OLEANDER
- PA PALMETTO
- PC POPCORN
- SB SUGARBERRY

PORTION BLOCK 13 TRACT A
RICHARD P. RITTER
TMS 459-02-00-005
860 MORRISON DRIVE
17,866 SQ. FT.
0.40 ACRE

COMMISSIONERS OF PUBLIC WORKS
OF THE CITY OF CHARLESTON
TMS 459-02-00-006

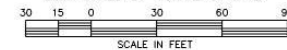
SOUTH CAROLINA
STATE PORTS AUTHORITY
TMS 459-02-00-001
ZONED H1
OLD CITY HEIGHT DISTRICTS
AMUSEMENT & RECREATION OVERLAY

TRACT B
RICHARD P. RITTER
TMS 459-02-00-002
860 MORRISON DRIVE
61,806 SQ. FT. (TOTAL)
1.42 ACRES (TOTAL)
60,711 SQ. FT. (HIGHLAND)
1.39 ACRES (HIGHLAND)

CITY OF CHARLESTON

CHARLESTON COUNTY, S. C.

RESURVEY OF A PORTION BLOCK 13 TRACT A (TMS 459-02-00-005)
CONTAINING 0.40 ACRE
AND TRACT B (TMS 459-02-00-002)
CONTAINING 1.42 ACRES (TOTAL)
BOTH OWNED BY RICHARD P. RITTER



SCALE: 1" = 30'

JANUARY 13, 2021
REVISED SEPTEMBER 17, 2021

E.M. SEABROOK

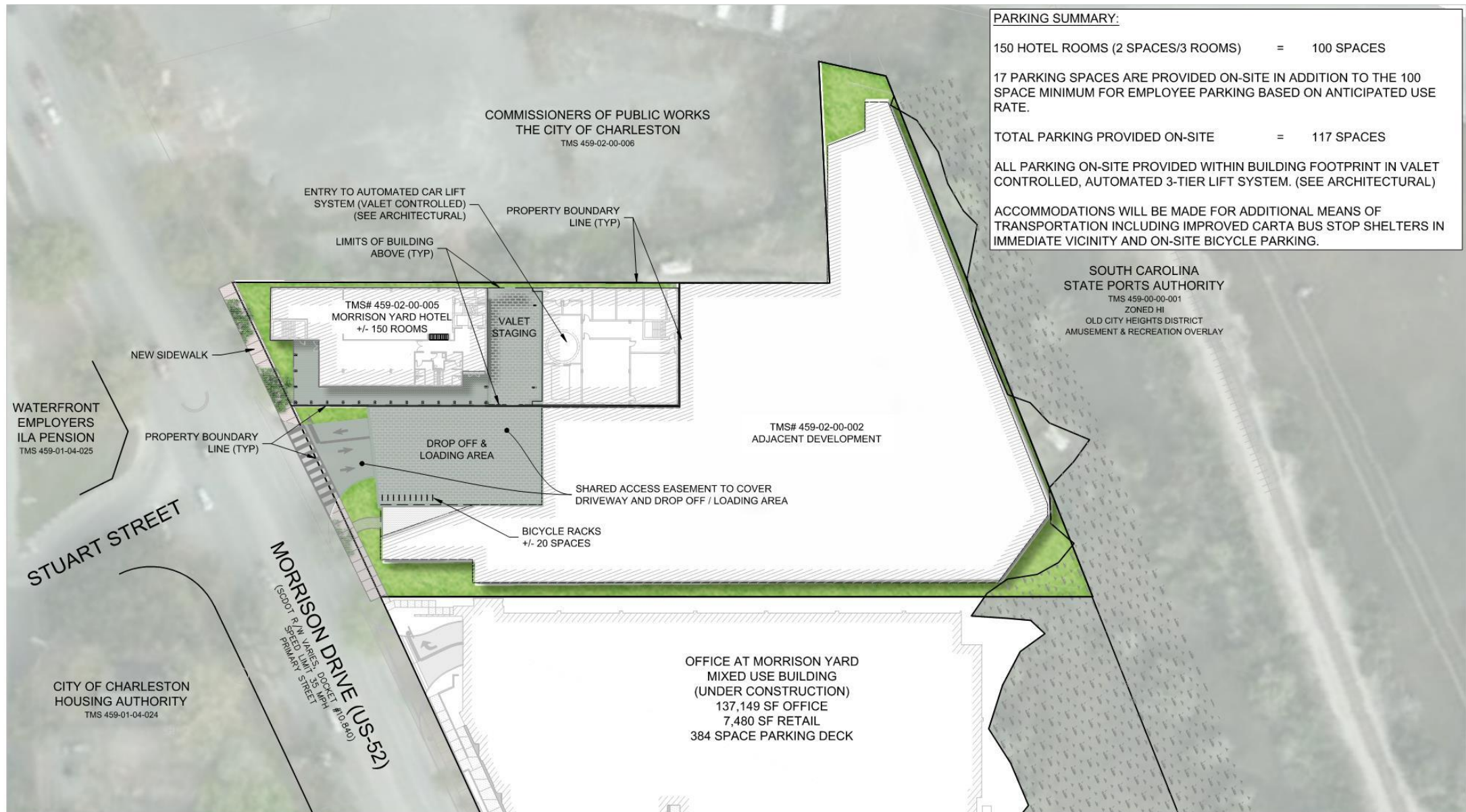
Engineers | Surveyors

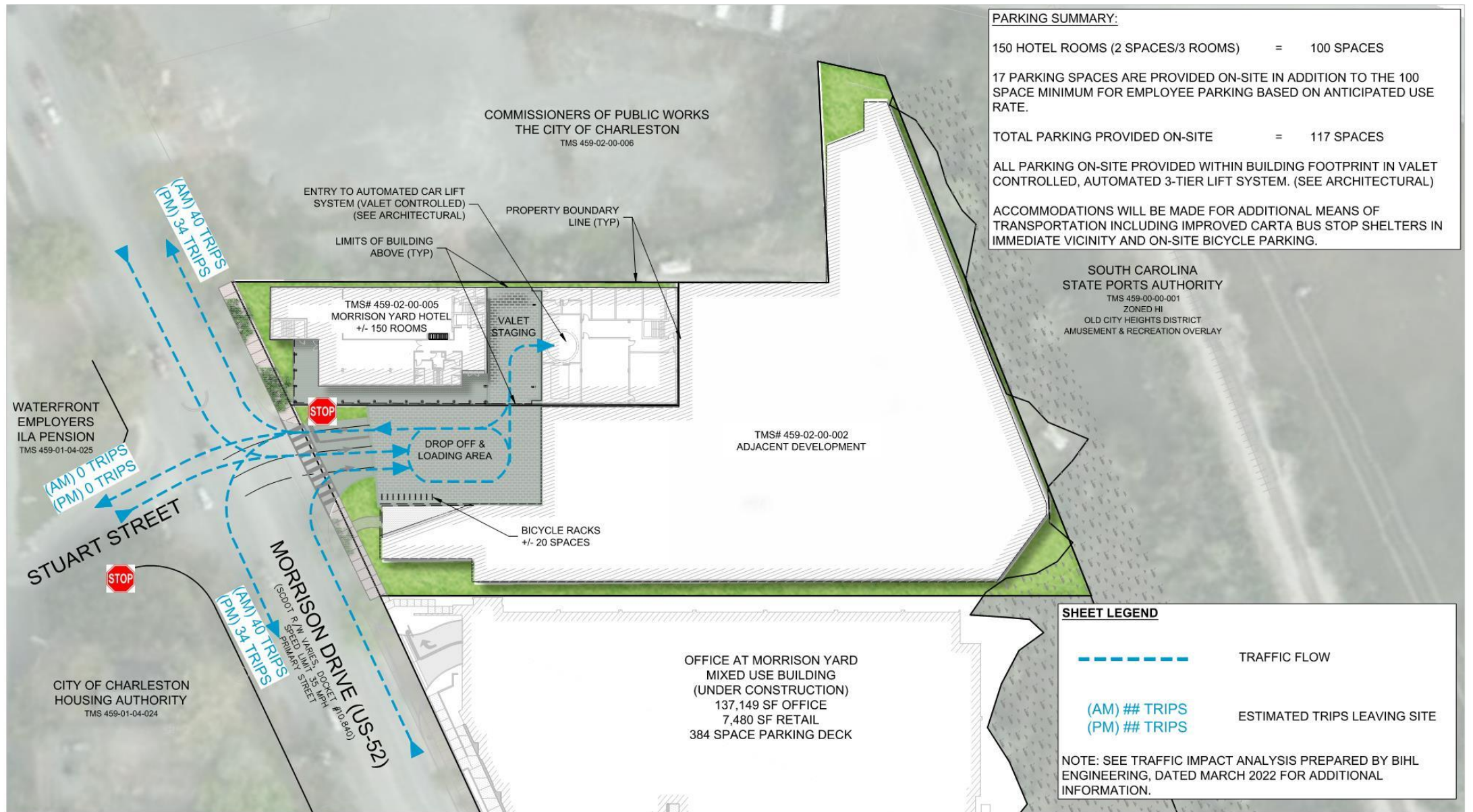
1037 Chuck Dowley Blvd.
Building F • Suite 200
Post Office Box 96
Mount Pleasant, SC 29465
Phone (843) 884-4496
www.emseabrook.com

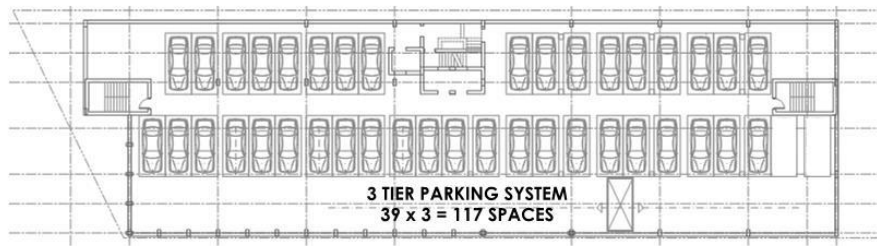
NAVD 88

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

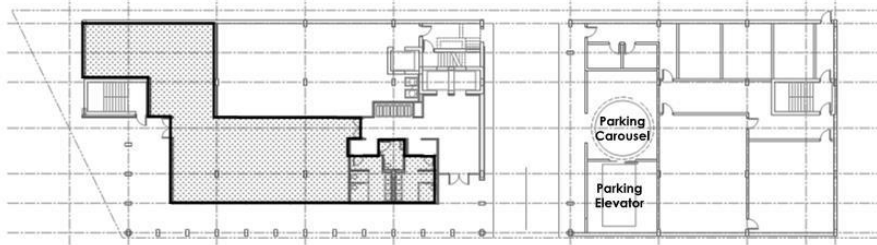
LEWIS E. SEABROOK
CIVIL ENGINEER & LAND SURVEYOR
S. C. REG. NO. 09860
P. O. BOX 96
MOUNT PLEASANT, S. C. 29465
(843) 884-4496



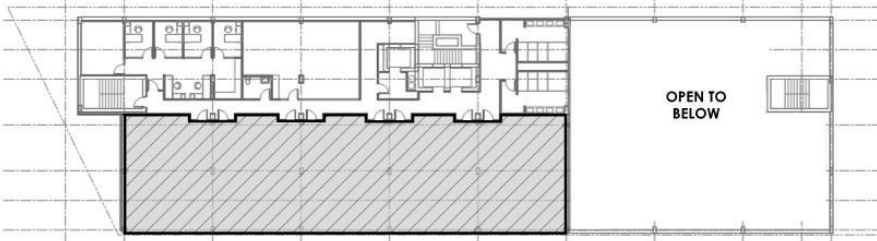




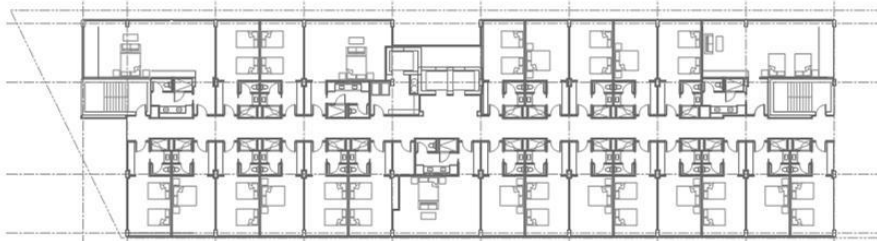
FLOOR PLAN - BASEMENT LEVEL - NOT TO SCALE



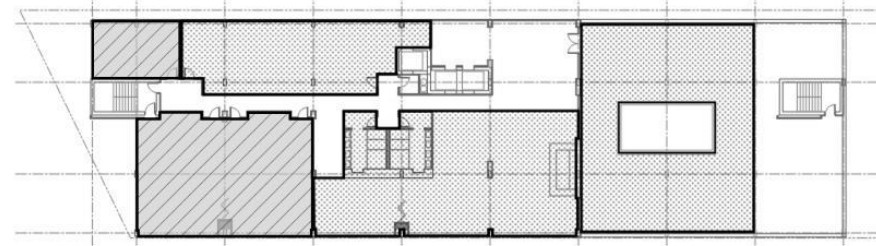
FLOOR PLAN - FIRST LEVEL - NOT TO SCALE



FLOOR PLAN - SECOND LEVEL - NOT TO SCALE

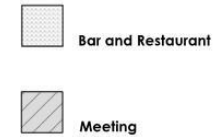


FLOOR PLAN - THIRD THRU EIGHTH LEVELS - NOT TO SCALE



FLOOR PLAN - NINTH LEVEL - NOT TO SCALE

LEVEL	SQUARE FOOTAGES			GUESTROOMS
	GROSS	RESTAURANT AND BAR	MEETING SPACE	
1	10,500	2,700	0	0
2	9,400	0	4,700	0
3	14,700	0	0	25
4	14,700	0	0	25
5	14,700	0	0	25
6	14,700	0	0	25
7	14,700	0	0	25
8	14,700	0	0	25
9	9,400	7,100	2,400	0
TOTALS	117,500	9,800	7,100	150



PART 5 - PERMITTED USES FOR OVERLAY ZONES

Sec. 54-220. - Accommodations overlay zone.

RESTAURANT & BAR REQUIREMENTS

(f) the total square footage of interior and exterior floor area for restaurant and bar space in the proposed accommodations use, including restaurant/bar patron use areas, bar areas, kitchen, storage, and bathroom facilities, shall not exceed 12 percent of the total interior, conditioned floor area in the accommodations use, except that each accommodations use shall be permitted to exempt from the calculation of total restaurant floor area one interior, ground floor restaurant tenant space if the total tenant space does not exceed 2,000 square feet, the restaurant tenant does not serve alcoholic beverages, and the exempt restaurant tenant space is clearly labeled with these restrictions on the floor plans submitted with the application for this zoning special exception;

117,500 sf x 0.12 = 14,100 sf Restaurant and Bar Area Allowed
9,800 sf Restaurant and Bar Area Shown (8.3%)

MEETING SPACE REQUIREMENTS

(k) (1) The proposed accommodations use incorporates meeting and conference space at a ratio of 400 square feet per 10 sleeping units, or fraction thereof, with respect to the first 150 sleeping units, and incorporates meeting and conference space at a ratio of 1000 square feet for every 10 sleeping units, or fraction thereof, exceeding 150 sleeping units. In either case, at least 75% of the meeting and conference space shall be contiguous;

150 Guestrooms / 10 = 15 x 400 = 6,000 sf Meeting Space Required
7,100 sf Meeting Space Area Shown

75% Contiguous Meeting Space: 6,000 sf x .75 = 4,500 sf
4,700 sf Contiguous Meeting Space Provided on Level 2

PARKING REQUIREMENTS

Hotel Use: 2 per 3 Rooms; 150 Rooms / 3 = 50 x 2 = 100 Spaces Required
 Employee: 34 Spaces Estimated Per Owner Narrative (50% Provided)

Total Parking: 117 Spaces

Parking Shown: 117 Spaces

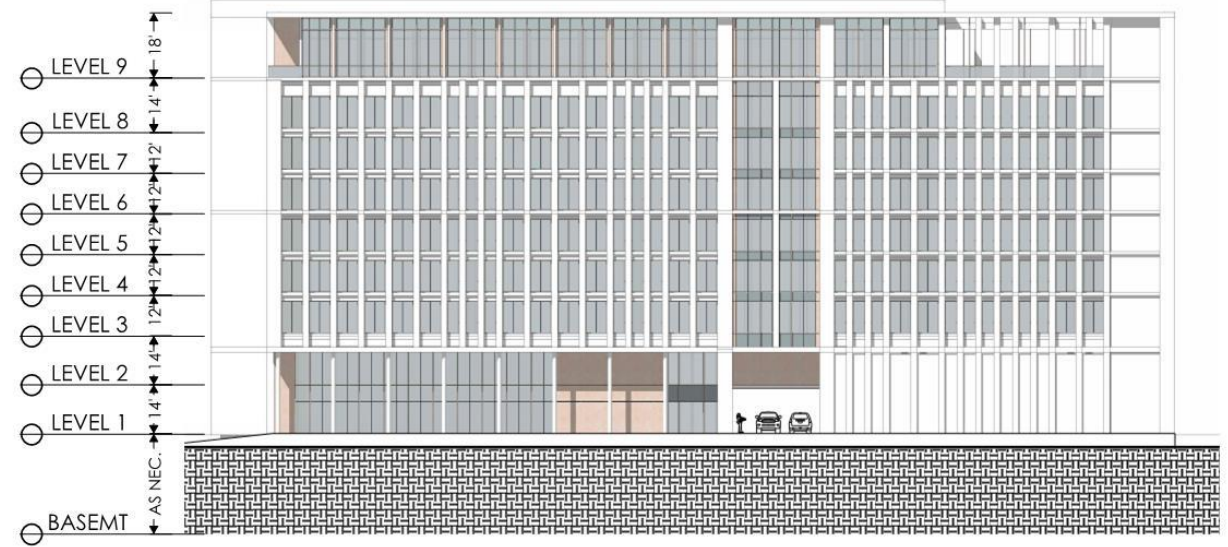
* Parking shall be provided as necessary based on final employee calculations and as agreed upon by Zoning Administrator

PART 17 - UPPER PENINSULA DISTRICT

Sec. 54-299.32. - Incentive Options

Per the section above, the following are areas where incentive options shall be considered but may change during the actual design effort. In no case, shall the project be presented without having the minimum required number of points gained required to achieve the 9 story request.

Incentive Options Considered	Points
Bike Parking	1
Charleston Rises	6
Alternative Transportation (EV Stations)	1
Renewable Energy (5kW System)	1
Total	9

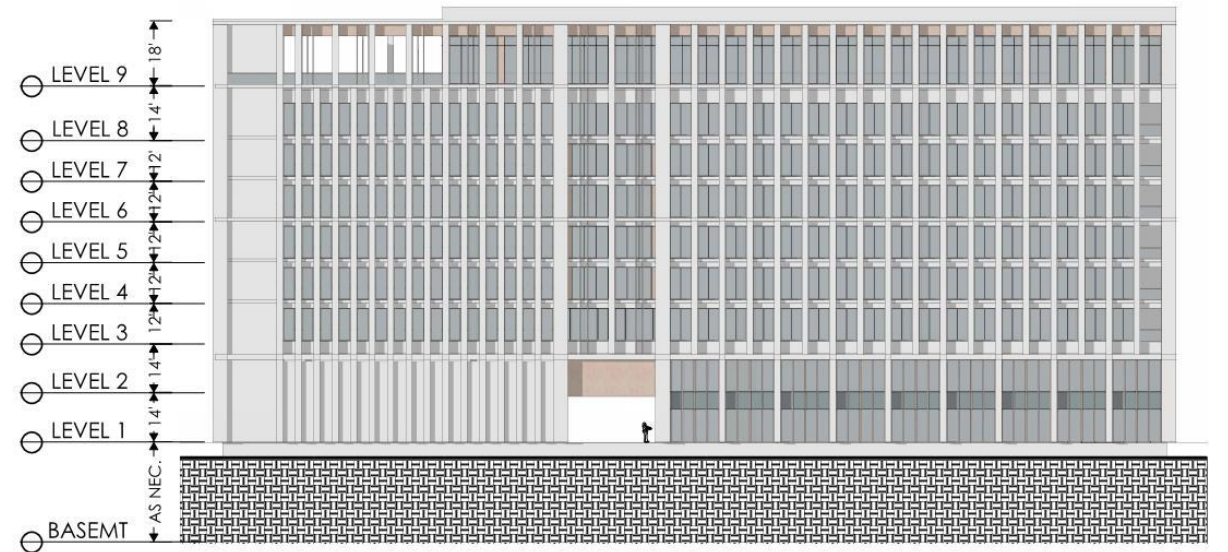


SOUTH ELEVATION - NOT TO SCALE

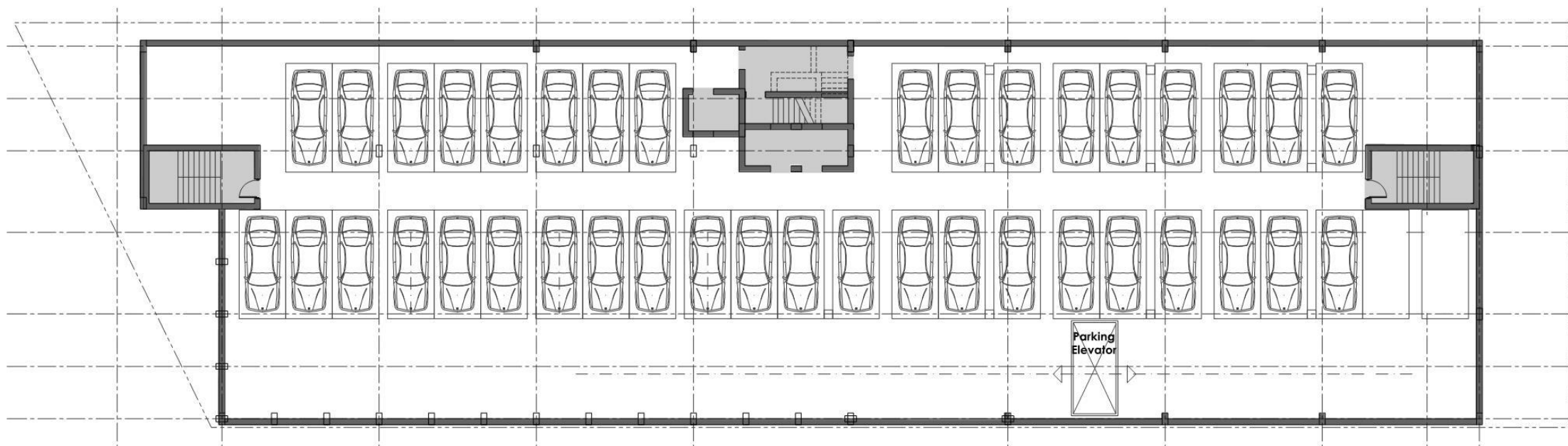


WEST ELEVATION - NOT TO SCALE

EAST ELEVATION - NOT TO SCALE

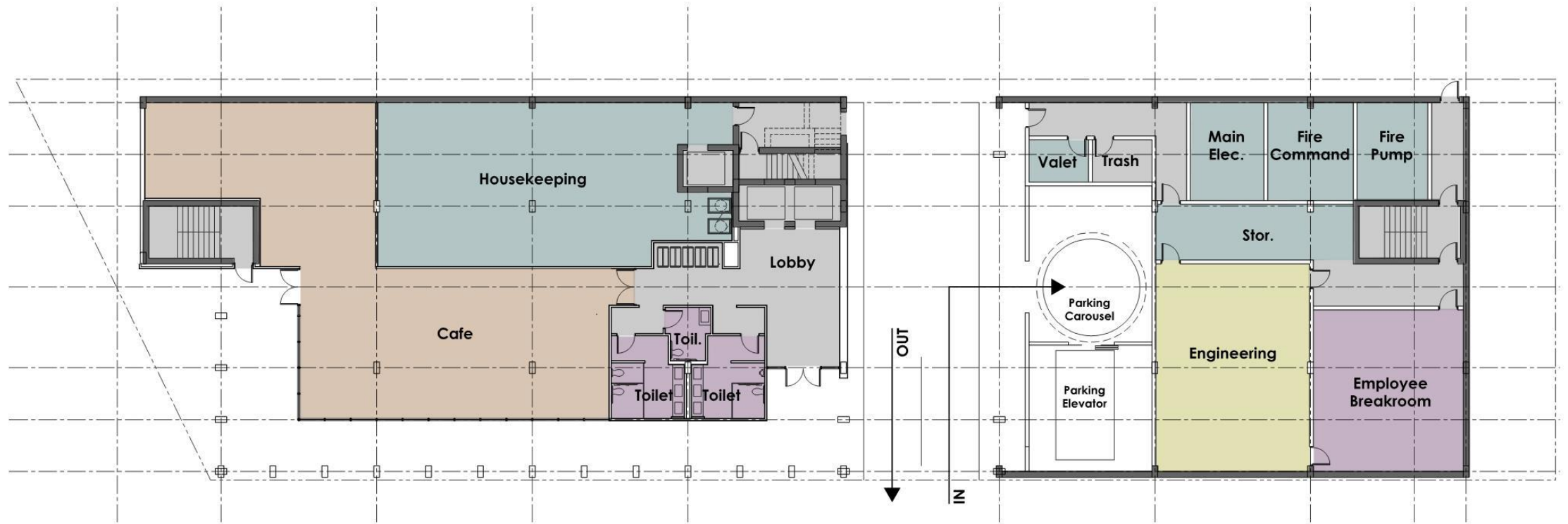


NORTH ELEVATION - NOT TO SCALE



FLOOR PLAN - BASEMENT LEVEL
1/16" = 1'-0"

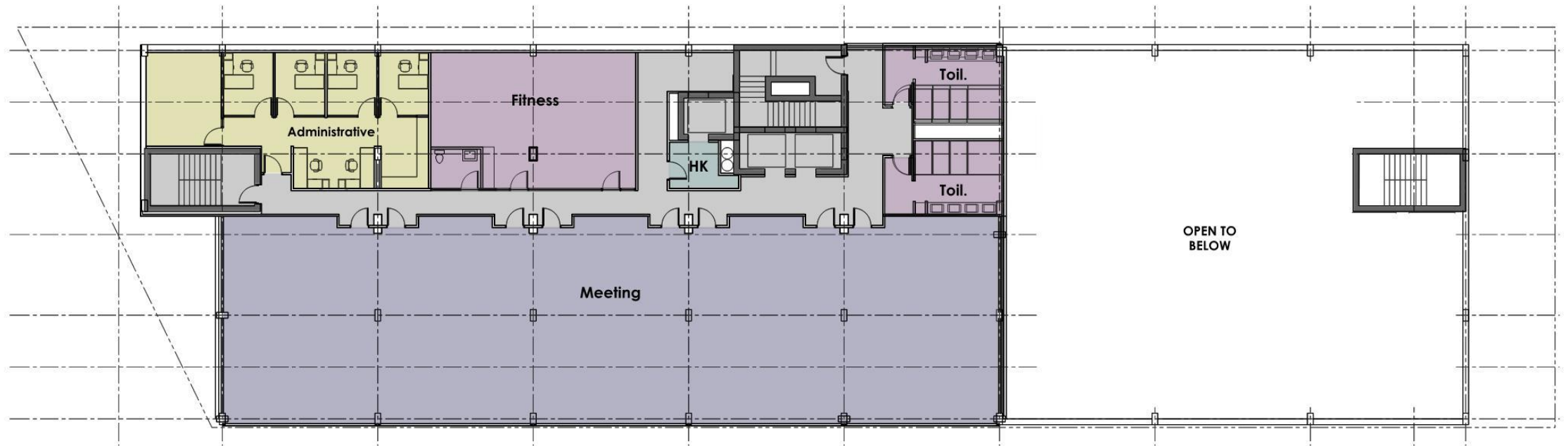
3 TIERS OF PARKING
39 SPACES x 3 TIERS = 117 SPACES



FLOOR PLAN - FIRST LEVEL
1/16" = 1'-0"

	Public		Double Queen
	Service		King
	Meeting		Junior Suite
	Support		Executive Suite
	Circulation		Administrative

ROOM TYPE	SQUARE FT.
Lobby	370
Cafe	2300
Housekeeping	1660
Empl. Brkrm.	786
Engineering	728



FLOOR PLAN - LEVEL 2
1/16" = 1'-0"

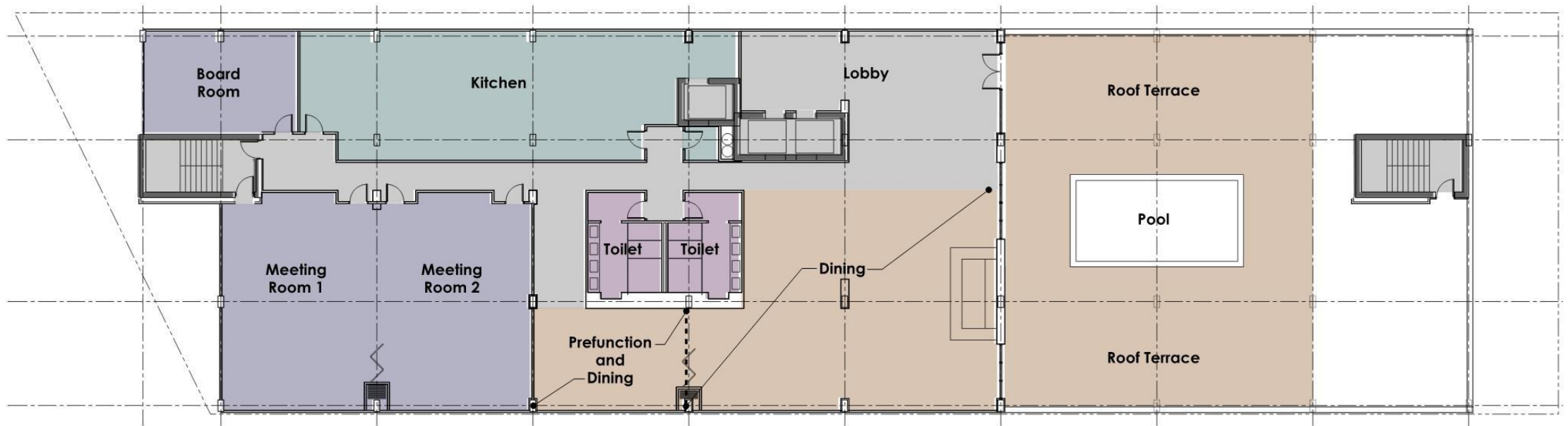
1 TIERS OF PARKING
14 SPACES x 1 TIERS = 14 SPACES



Public	Double Queen
Service	King
Meeting	Junior Suite
Support	Executive Suite
Circulation	Administrative

ROOM TYPE	SQUARE FT.	FLR. QTY.	TOTAL QTY.
Double Queen	377	13	78
King	377	8	48
Junior Suite	677	2	12
Executive Suite	902	2	12
Totals		25	150
Housekeeping	150		
Elec - IDF	65		

FLOOR PLAN - THIRD THRU EIGHTH LEVELS
1/16" = 1'-0"



Public	Double Queen
Service	King
Meeting	Junior Suite
Support	Executive Suite
Circulation	Administrative

ROOM TYPE	SQUARE FT.
Dining	2300
Meeting Rm. 1	980
Meeting Rm. 2	980
Board Room	440
Kitchen	1500

FLOOR PLAN - NINTH LEVEL
1/16" = 1'-0"



VIEW FROM NORTHWEST ACROSS
MORRISON DRIVE



VIEW FROM SOUTHWEST ACROSS
MORRISON DRIVE



VIEW FROM NORTHWEST ON-SITE



VIEW FROM SOUTHWEST ON-SITE

